



Schoolcraft Township Planning Commission Meeting

January 8, 2024

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of agenda
5. Approval of minutes
 - a. Regular meeting of December 4, 2023
6. Public comment *
7. New business
 - a. Master Plan Update
 - b. Fence Definition
 - c. Site Plan-Vicksburg Storage LLC
8. Old business
9. Report from Township Board
10. Report from Zoning Board of Appeals
11. Adjournment

** Public comment limited to 3 minutes*

Schoolcraft Township Planning Commission

Minutes for: Monday, December 4, 2023

Commissioners:

Name	Present	Absent
Barry Visel (Chairman)	X	
David Aubry (Vice Chairman)	X	
Rich Bailey		X
Eric Jasiak	X	
Tamra Stafford	X	
Jim Jastifer	X	
Nathan Miersma		X

Also Present:

Name	Description
Brandon Bordner	TM Asphalt Representative
Brian Pittelko	W.E. Upjohn Institute Representative
Christine Hamilton	Zoning Administrator

Call to Order

Chair Visel opened the meeting at 6:03 pm.

Roll Call

Pledge of Allegiance

Approval of Agenda

Chair Visel moved to approve the agenda with a change in the order of hearing new business, supported by Commissioner Stafford. Motion carried 5-0.

Approval of Previous Meeting Minutes

Chair Visel moved to approve the minutes of November 6, 2023 with one change, the insertion of "Schoolcraft" before "historical society" on page 3. Motion carried 5-0.

Public Comment

A citizen requested to address the Commission when the Commission reviews the report from the Zoning Board of Appeals at the end of this meeting.

New Business

1. Site Plan Review – TM Asphalt

Commissioner Jastifer motioned to approve the site plan as presented, subject to conditions to be set by the Township Zoning Administrator for parking, landscaping, lighting, and signage. Motion was seconded by Commissioner Jasiak. Motion passed 5-0.

2. Master Plan Update

W.E. Upjohn Institute representative Brian Pittelko and the Commissioners discussed the existing land use map and the future land use map that is being drafted. Mr. Pittelko stated that the maps today had not been changed since the last meeting.

Commissioner Jastifer asked what the goal of the conversation is. Mr. Pittelko stated that his goal is to think about how and where growth of the Township should occur.

Commissioner Jastifer asked if the Commissioners should pause this conversation until they have up to date maps. The other Commissioners said no.

Chair Visel stated he is happy with the future land use plan they currently have. He stated that the Zoning Ordinance might need to be amended to accommodate different types of development.

The Commissioners and Mr. Pittelko discussed specific areas on the land use map.

The Commissioners went through each page of the draft master plan.

Mr. Pittelko brought up the recent legislature on solar and wind energy. Chair Visel clarified that the new laws apply to large-scale solar and wind energy.

The Commissioners and Mr. Pittelko discussed the timeline for finalizing the master plan update.

Old Business

None.

Report from Township Board

Commissioner Stafford provide a summary of the November 14, 2023 Township Board Meeting. The Township Board discussed:

- A round-about in the Township.
- Renderings of a new digital sign that the Township is looking at installing.
- The TextMyGov program to provide various information.
- The Township's grass mowing contract and bidding for separate mowing and lawn care contracts.

Commissioner Jasiak asked if there is anything special that must be done to install the digital sign. Commissioner Stafford said the Township Board talked about where it would go and how it will look. Commissioner Jasiak thinks it will be distracting to drivers.

Report from Zoning Board of Appeals

Zoning Administrator Christine Hamilton reported that the Zoning Board of Appeals did not make a decision on the application of Geoffrey Clap for a variance from setbacks and side property line. Ms. Hamilton reported that there is a disagreement over the interpretation of the Zoning Ordinance.

A member of the public commented that he believes the Zoning Board of Appeals made the appropriate decision.

Chair Visel stated that the Commissioners will address the issue if and when it is presented to them.

The Commissioners received a suggested amendment to the Zoning Ordinance on fences. Chair Visel stated it will be on a future agenda.

Adjournment

Chair Visel adjourned the Planning Commission meet at 7:44 pm.



December 18, 2023

Ms. Christine Hamilton, Zoning Administrator
Schoolcraft Township
50 East "VW" Avenue
Vicksburg, MI 49097

RE: Vicksburg Storage
Final Site Plan Review

Dear Ms. Hamilton:

Enclosed, please find nine (9) copies of the following items being submitted for Final Site Plan Review. We have also included an electronic copy for your use.

The package includes the following:

1. Project Narrative
2. Illustrative Rendering
3. Site Plan Set
4. Topographical with Boundary Survey
5. Building Elevations & Floorplans
6. Exterior Lighting Plans
7. Copy of Signed Application & Checklist
8. Copy of Application Fee Payment (\$350)

These items are being submitted for your review and approval at the regular scheduled, January Planning Commission meeting.

Should you have any questions or require additional information, please don't hesitate to contact me at (616) 575-5190 or via email at rpulaski@nederveld.com.

Sincerely,


Jonathan DePoy
Project Manager

Enclosures

Must be Completed!

Site Plan Review Application

1. Applicant At+: Mitch Pater - Vicksburg Storage, LLC Phone (616) 893 - 5343
2. Applicant Address 3910 Oakes Street SW, Grandville, MI 49418
3. Project Location 13432 Portage Road & Unaddressed VW Avenue
(41-15-280-110 & 14-15-280-181)
4. Legal Description see attached
5. Zoning District LC Parcel Size 4.74 (combined)
6. What are you proposing to build? Mini Self-Storage Complex
7. What will it be used for? Self-Storage

Applicant Signature  Date 12/11/13

(For Township use only)

Date Application Received _____ Fee Paid \$ _____ Ck# _____

Zoning Administrator: _____

Formal Site Plan Review Checklist (Required)

All formal site plan review applications shall include all of the following (unless clearly not applicable or officially waived by the Planning Commission.):

- ✓ 1. The name and address of the applicant
If corporation, the name and address of the officers thereof.
If a partnership, the names and addresses of each partner.
- ✓ 2. Legal description of the property
- ✓ 3. Drawings showing tentative plans
- ✓ 4. The date, north arrow and scale; the scale shall not be less than one (1) inch equals twenty (20) feet for property under three (3) acres and at least one (1) inch equals one hundred (100) feet for those three (3) acres or more
- ✓ 5. All lot and/or property lines are to be shown and dimensioned, including building set back lines
- ✓ 6. The location and height of all existing and proposed structures on and within one hundred (100) feet of the subject property.
- ✓ 7. The location and dimensions off all existing and proposed drives and aisles, sidewalks, curb openings, signs, exterior lighting, parking spaces, loading and unloading areas, outdoor display and storage areas, and recreation areas, etc.
- ✓ 8. The location of the pavement and right-of-way width of all abutting roads, streets or alleys.
- ✓ 9. The name and firm address of the professional individual responsible for the preparation of the site plan (including imprint of his professional seal, if any)
- ✓ 10. The name and address of the property owner or petitioner.
- ✓ 11. The locations of all rubbish receptacles and landscaping and the location, height and type of fences and walls.
- ✓ 12. The size and location of existing and proposed utilities, including proposed connections to public sewer or water supply systems, if available.
- ✓ 13. The location of all fire hydrants.
- ✓ 14. (For mobile home parks) The lot size, setbacks, trailer pads, patios, and complete park layout.
- ✓ 15. The location and dimensions of all existing proposed interior and exterior areas and structures (including above or below ground storage tanks) to be used for the collection, storage, use, loading/unloading, recycling, or disposal of any chemicals, fuels, flammable materials, contaminated stormwater or wastewater, or hazardous materials.
- ✓ 16. The location of all existing and proposed floor drains.
- ✓ 17. The location and size of all existing and proposed exterior drains, drywells, catch basins, retention/detention areas, sumps and other facilities designed to collect, store or transport storm water, including the point of discharges for all associated drains and pipes.
- ✓ 18. Property survey by registered surveyor.

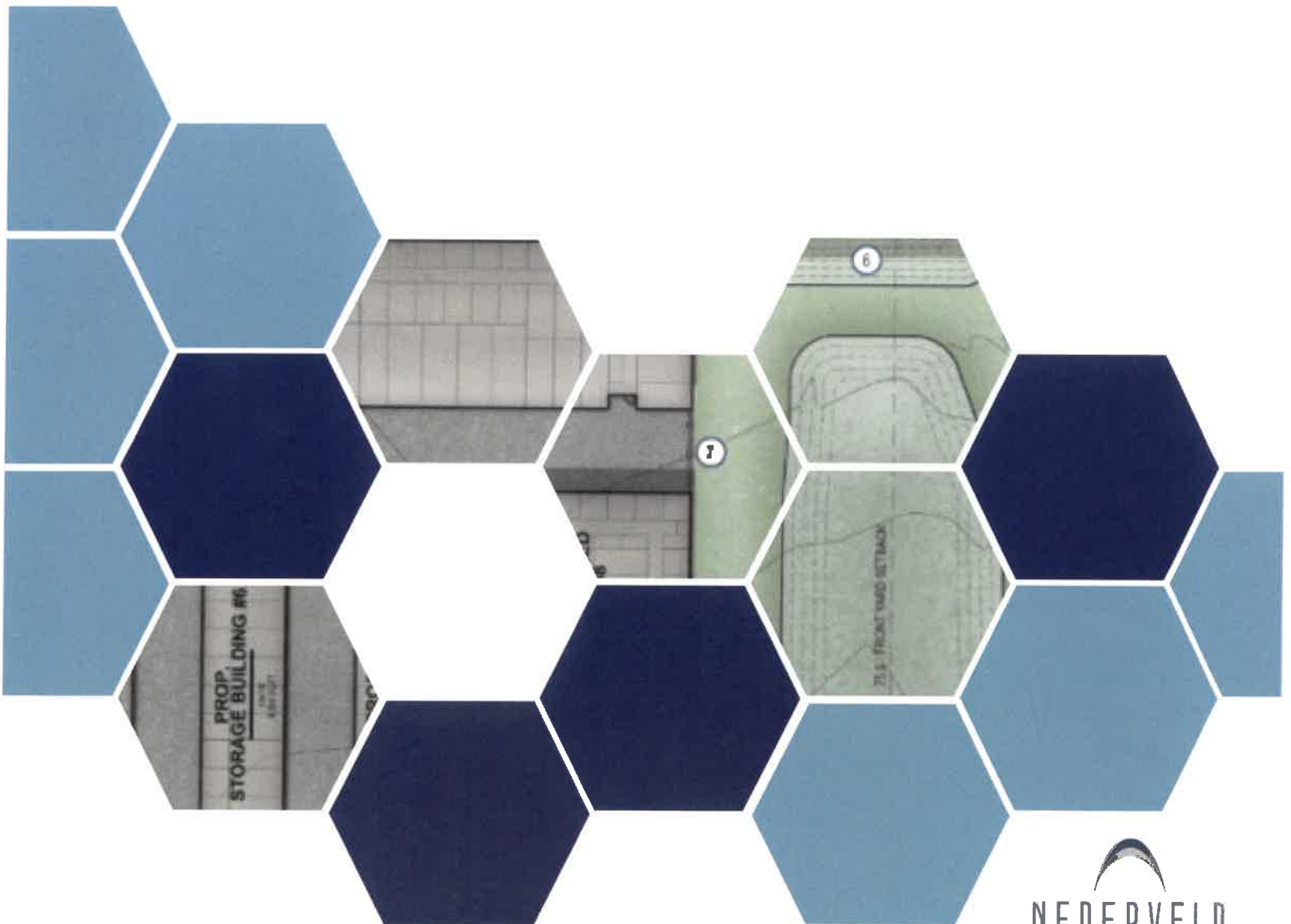
- ✓ 19. The existing and proposed contour shall be shown on all site plans. [Two (2) foot intervals, minimum]
- ✓ 20. The location of all lakes, streams, wetlands, county drains, and other waterways abutting or within one hundred (100) feet of the subject property.
- ✓ 21. The front, side and rear elevations for all new buildings on the property. Also, with respect to site plans involving multiple-family dwellings, either floor plans for all such buildings or information that is otherwise sufficient to show compliance with applicable minimum gross floor area per dwelling unit square footage requirements (Complete floor plans are optional with respect to other types of developments subject to site plan review, but may be required by the Planning Commission where deemed necessary to properly evaluate compliance with the criteria for site plan approval.)
- ✓ 22. A description of the operation proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, land pollution, fire or safety hazards, or the emission of all potentially harmful or obnoxious matter or radiation.
- ✓ 23. Engineering and architectural plans for the treatment and disposal of sewage and industrial waste tailings and unusable by-products.
- ✓ 24. The proposed number of shifts to be worked and the maximum number of employees on each shift.
- ✓ 25. Any other information deemed necessary by the Township Planning Commission.

The Planning Commission may waive any of the above enumerated required items of content for a final site plan if the Commission determines the item of content either does not apply to the proposed use, or is otherwise unnecessary to evaluate the use for which approval is sought-pursuant to the site plan approval standards specified in Section 24.6 of this ordinance.

All Items Must Be Included in the Site Plan Packet or a Legitimate Explanation Must Be Written As To Why They Are Not.

Vicksburg Storage

Schoolcraft Township



PROJECT NARRATIVE

PROJECT OVERVIEW

Vicksburg Storage LLC is proposing a new mini-storage facility at the northwest corner of Portage Road and VW Avenue to serve the storage needs of the local community (13432 Portage Road). The proposed complex will include both climate-controlled and conventional storage units housed in eight buildings. The site is thoughtfully arranged to provide ease of access, proper vehicle circulation, appropriate screening, effective stormwater management, and a property that is user-friendly and attractive.



The subject site is the location of the former B&S Auto Salvage and Parts and includes 5.45 acres in total. The property contains three parcels that will be combined into a single parcel.

The Schoolcraft Township Board approved a zoning map amendment (rezone) of the split-zoned parcel from R-3 to LC so that there is consistent LC-Local Commercial zoning of the entire property (see September 14, 2023, minutes for reference). The Schoolcraft Township Planning Commission approved a special use permit for mini-storage facilities (see September 11, 2023, minutes for reference).

Site Plan Review

Statement of Compliance

The project meets the standards and requirements (Section 24.6) as follows (requirement in **bold**, statement of response in normal typeface):

The Planning Commission shall review and approve a site plan, or approve a site plan with conditions, upon a finding that all of the following standards are met:

- A. **The proposed use will not have a harmful effect on the surrounding neighborhood development. Fencing, walls and/or landscaping may be required as a screening device to minimize adverse effects upon surrounding development.**

The proposed plan is a contextually appropriate conversion of a more intense commercial use (salvage yard) to a less intense commercial use (self-storage), which supports the vision of the 2008 Schoolcraft Township Master Plan. The proposed commercial use improves upon the established commercial development surrounding Portage Road and VW Avenue, while also

providing screening in the form of building walls and berms from the residential property to the north. In addition to the use considerations, known environmental contaminants on the site will be properly handled per the direction of an environmental specialist, to mitigate health risks to the general public.

- B. There is a proper relationship between the major thoroughfares and proposed service drives, driveways and parking areas so as to insure the safety and convenience of pedestrian and vehicular traffic.**

The site gains access from East VW Avenue at a location that has been preliminarily reviewed and approved by the Kalamazoo County Road Commission. While there is limited flow of traffic at storage unit facilities (typically 1 or 2 vehicles at a time), the layout is designed for safe vehicular and pedestrian flow of traffic.

Drive aisles have been designed to provide adequate space for maneuvering trucks and trailers throughout the site.

- C. The adverse effects resulting from the locations of buildings and accessory structures will be minimized to the occupants of adjacent properties.**

The proposed site plan will enhance the use and development of the neighborhood. By transitioning from an auto salvage use to a self-storage use, the appearance and environmental quality of the area is improved.

The site plan illustrates various buffering aspects of the property. The proposed setbacks include a 75' front yard setback from the roads. In addition, screening in the form of building walls and berms as well as a 6-foot black chain link fence provide buffering to the adjoining properties to the west and north.

- D. The proper development of roads, easements and utilities has been provided to protect the general health, safety and welfare of the citizens of the Township.**

The proposed site plan does not include roads or public utilities.

- E. The natural features of the landscape, such as ponds, streams, hills, wooded areas, etc. shall be retained where they afford a barrier or buffer between adjoining properties being put to different use.**

The subject property is a vacant salvage yard with no significant natural features aside from two mature canopy trees, which will be preserved.

- F. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.**

The proposed site plan utilizes the natural landscape by minimizing tree and soil removal and grading the site in a way that keeps the general appearance of neighboring developed areas. The stormwater retention basin is located at a natural low spot on the site and has been designed to meet the Kalamazoo Country Drain Commissioner's standards.

Additional measures such as silt fencing will be employed to control soil erosion. Before commencing earthwork on site, the applicant will apply for and obtain a SESC (soil erosion) permit from the Kalamazoo County Drain Commission.

- G. All areas and structures where chemicals, fuels, flammable materials, contaminated stormwater or washwater, or hazardous materials are to be collected, stored, used, loaded/unloaded, recycled, generated or disposed of have been designed and located to prevent spills and discharges to the air, surface of the ground, groundwater, lakes, streams, rivers and wetlands, except as may be specifically permitted by a state or federal governmental agency.**

The proposed site plan does not include areas and structures where chemicals, fuels, flammable materials, contaminated stormwater or washwater, or hazardous materials are to be collected, stored, used, loaded/unloaded, recycled, generated or disposed of.

- H. All floor drains have been approved by the responsible governmental agency for connection to an on-site closed holding tank, or, where appropriate, to a septic system or public sewer system, or regulated through a State of Michigan groundwater discharge permit.**

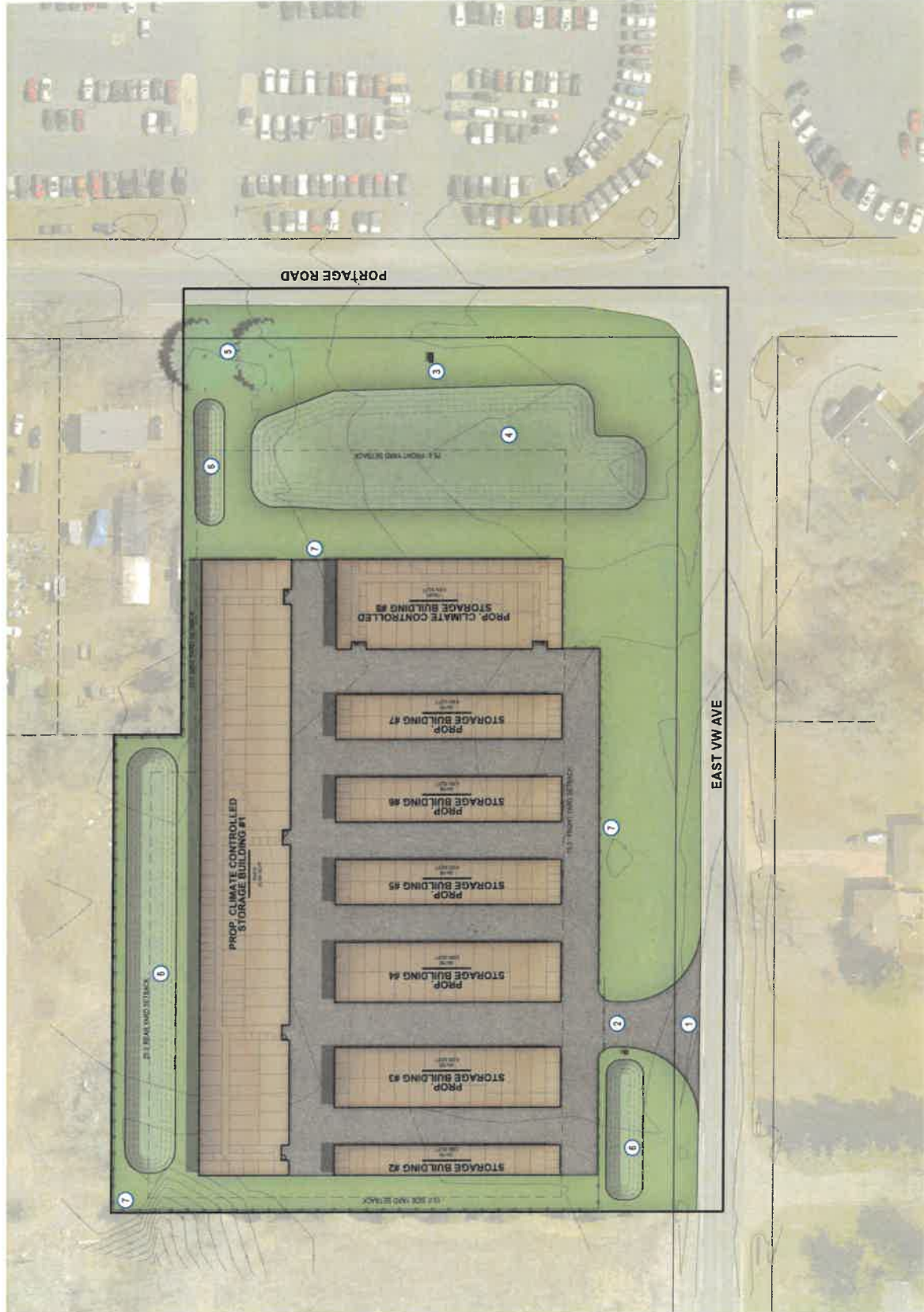
The proposed site plan does not include floor drains.

- I. The height and location of all portions of buildings and structures are accessible to available emergency personnel.**

The height and location of all portions of building and structures are accessible to emergency personnel. Additionally, a simulation of truck turn movements was conducted on the layout to ensure that emergency vehicles (including fire trucks) can access the site and provide fire protection services throughout the development. See truck turn movement exhibit on sheet C-900 for reference.

- J. The proposed development will comply with all applicable provisions of this ordinance, and other applicable ordinances, laws, rules, and regulations.**

The proposed site plan complies with all application provisions of this ordinance including the approval of a special use permit for mini-storage facilities.



LEGEND

- 1 SITE ENTRANCE
- 2 SECURITY GATE WITH KEYPAD
- 3 PROPOSED SIGN
- 4 STORMWATER MANAGEMENT RETENTION BASIN
- 5 EXISTING TREES TO REMAIN
- 6 PROPOSED BERM
- 7 PROPOSED 6' BLACK CHAIN LINK FENCE

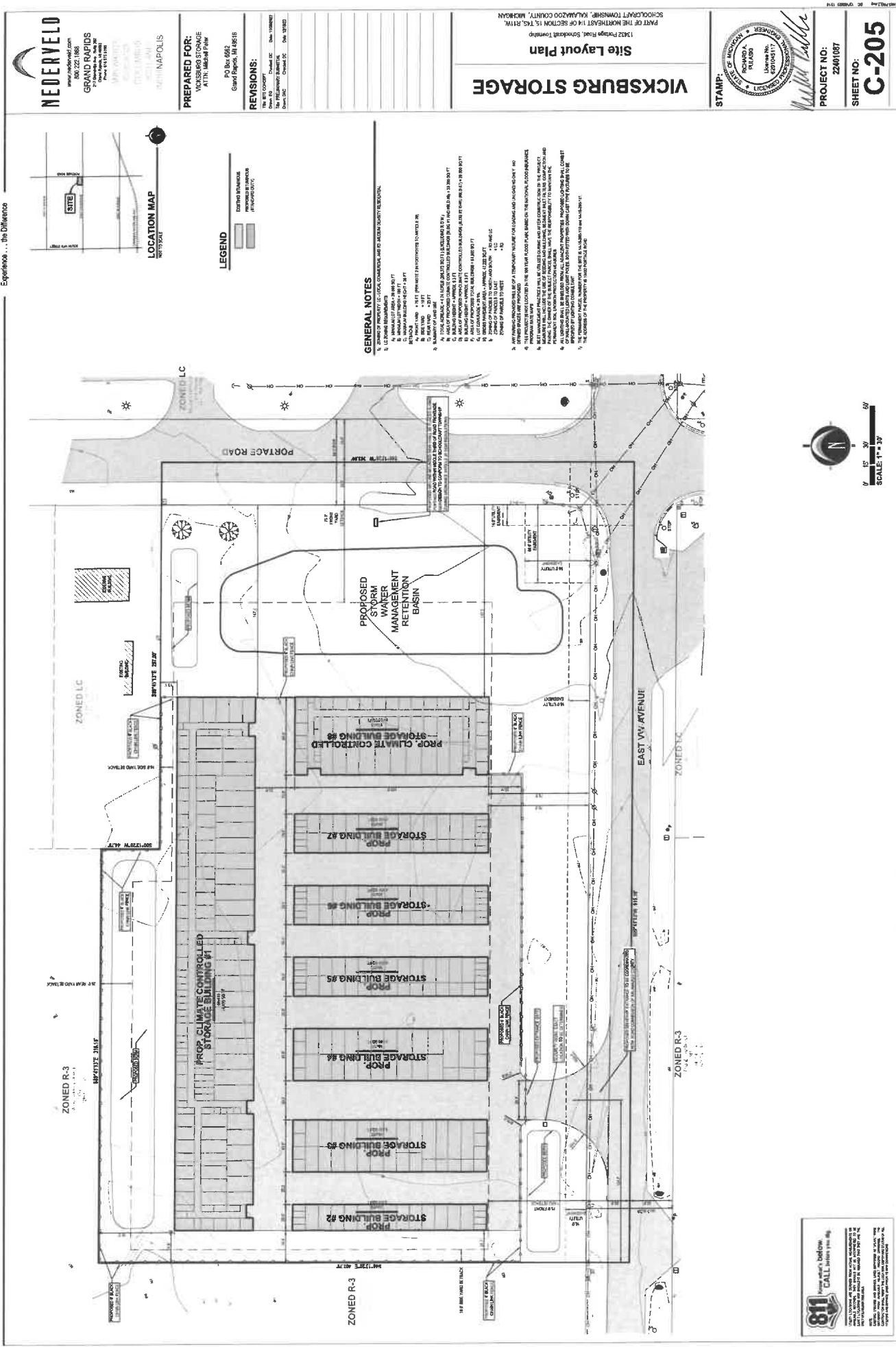
NOTES

Site Location: 13432 Portage Road
Schaumburg, IL 60196

Site Area: 4.74 ac.

Building Area: 61,800 sf





NEOVERVELD
www.neoverveld.com
800.221.1886
GRAND RAPIDS
1000 1ST AVE NW
GRAND RAPIDS, MI 49503
PHONE 616.731.1100
FAX 616.731.1101
MICHIGAN
LICENSED PROFESSIONAL ENGINEER
NO. 24111
NAPOLIS
NO. 10000

PREPARED FOR:
VICKSBURG STORAGE
ATN, GRAND RAPIDS, MI 49503

PO Box 5922
Grand Rapids, MI 49516

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/15/2017	ISSUED FOR PERMIT
2	01/15/2017	ISSUED FOR PERMIT
3	01/15/2017	ISSUED FOR PERMIT
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5	01/15/2017	ISSUED FOR PERMIT
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LEGEND

EXISTING BUILDINGS
PROPOSED BUILDINGS
PROPOSED LOT

GENERAL NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE OF THE LOT OR TO THE CENTERLINE OF THE ROAD, UNLESS OTHERWISE NOTED.

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Site Layout Plan

1302 Portage Road, Grand Rapids, MI 49503

PART OF THE NORTHWEST 1/4 OF SECTION 15, T4S, R11W, SCHOOLCRAFT TOWNSHIP, Kalamazoo County, Michigan

STAMP:

STATE OF MICHIGAN
LAND SURVEYING
LICENSE NO. 22401087
EXPIRATION DATE 12/31/2017

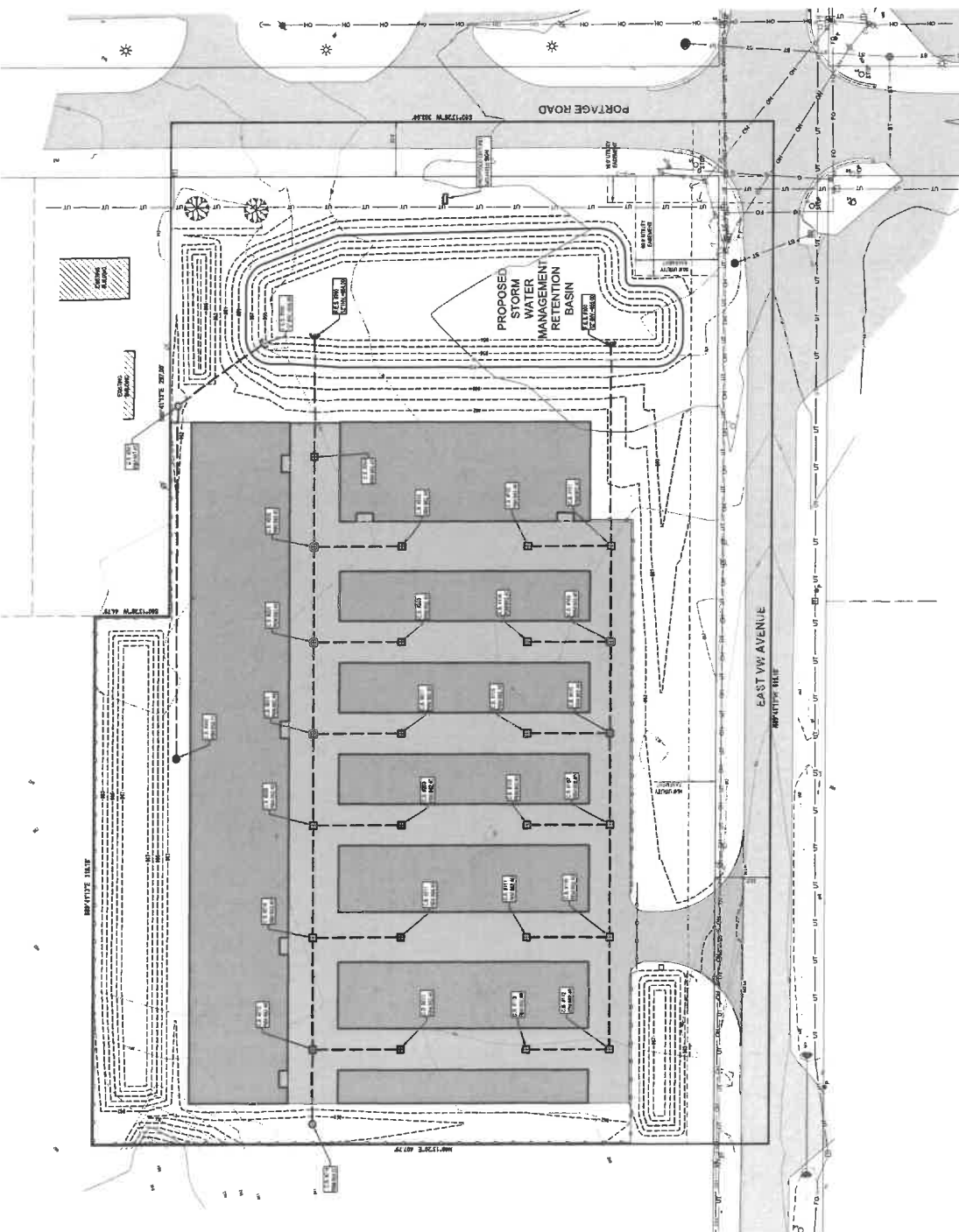
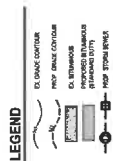
PROJECT NO: 22401087

SHEET NO: C-205

811

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NO. 10000





PREPARED FOR:
VICKSBURG STORAGE
ATTN: Mitchell Peter

PO Box 6582
Grand Rapids, MI 49516

REVISIONS:

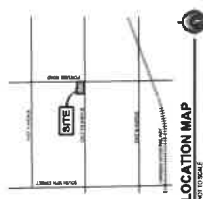
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VICKSBURG STORAGE
FIRE TRUCK CIRCULATION PLAN
13431 Portage Road, Schoolcraft Township
PART OF THE NORTHEAST 1/4 OF SECTION 15, T4S, R11W,
SCHOOLCRAFT TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN



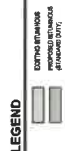
PROJECT NO:
22401087

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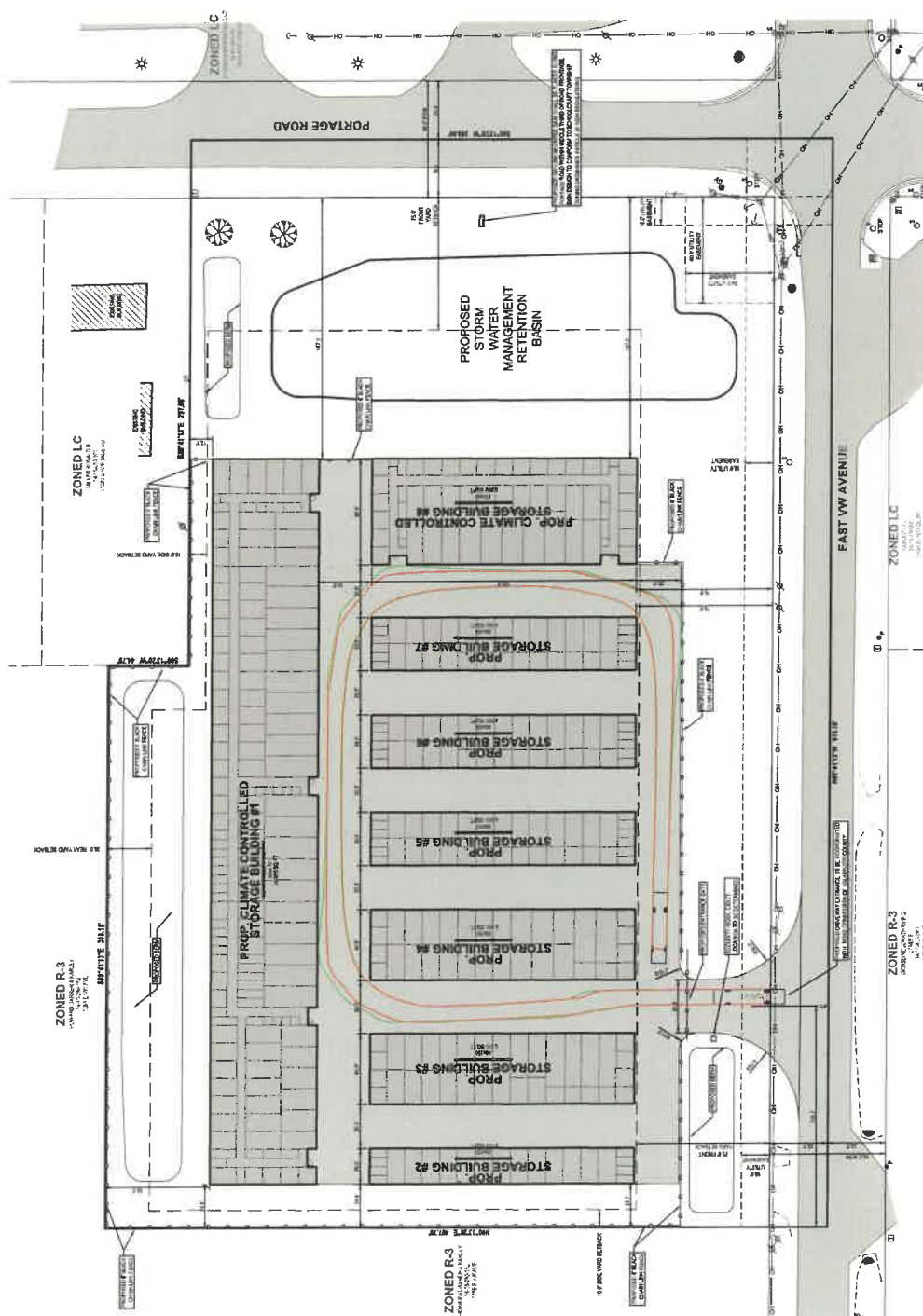
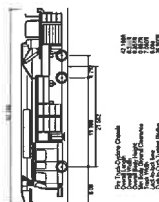


LOCATION MAP

LEGEND



EMERGENCY VEHICLE DESIGN



7 15 30 60
SCALE: 1" = 30'

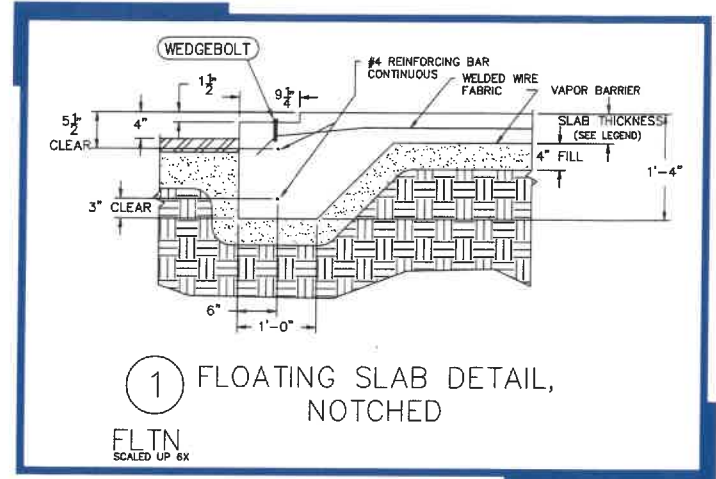




Foundation Details

Floating Slab Detail

This detail is used in all non-frost areas and may also be used in some frost areas (Call your local building dept. to see if they accept this design). There is no footing with the foundation. The concept is that the whole foundation moves up and down with the frost. The thickness of slab changes due to the snow and wind loads. Trachte can only assume a 1,500 lb soil bearing capacity. If you have a soil report that states a higher capacity, this will impact the thickness of the foundation.



Forms must be straight, level, and have adequate bracing. A 2" x 10" is used to form the required notch in the concrete.
Note: Photos only suggest how to pour the floating slab foundation.

A 2" x 10" form is attached with screws so it can be dismantled during the finishing stage.



video at
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Look at our video Concrete and Grading:
The Foundation to a Great Project.



Foundation Details

The inside of the 2" x 10" form is staked to keep the form level during the pour. The stake is removed while the concrete is still workable. The required steel reinforcement bases are installed prior to the 2" x 10" form installation.



If the building requires interior column footings, locations are specified on the foundation plan. Mark the locations and shovel out to the depth denoted on the foundation plan.

A vapor barrier is placed under the concrete. 6" x 6" W1.4 x W1.4 welded wire fabric is specified on the plan. If you would prefer fiber mesh or rebar, Trachte will have to re-design the foundation because fiber mesh or rebar requires a thicker foundation.



A hand-held vibrator is used to work the concrete under the 2" x 10" form to help reduce the amount of air pockets.



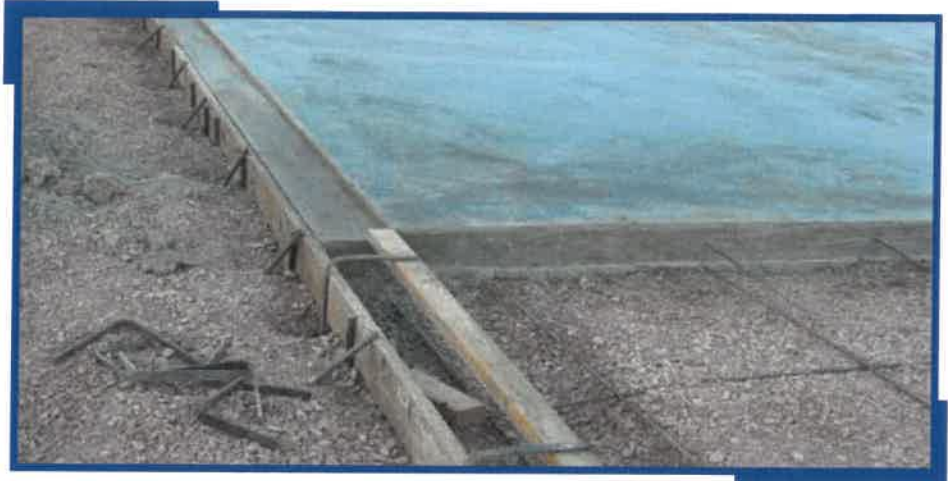
The 2" x 10" form that shapes the notch must be removed while the concrete is still workable. If this is not done, there will be pock marks due to air pockets.

Curb edge the concrete to reduce chipping and hand trowel the notch to remove air pockets. Brush finishing the notch is also an option. Curb edge the concrete to reduce chipping and hand trowel the notch to remove air pockets. Brush finishing the notch is also an option.



Foundation Details

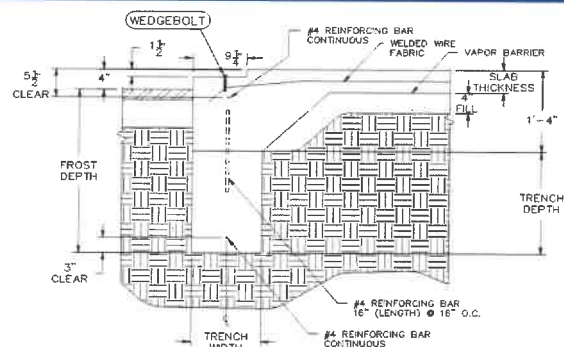
This is an alternative method to form your notch in the foundation. It will eliminate a lot of labor since you can trowel-finish your notch without removing any wood.



Steel angles are another alternative method for forming the notch.

Trench Wall Foundations

This is a detail of Trachte's trenchwall foundation. The trench is poured to the depth of the frost line and the trench thickness can be either 8", 10", or 12" wide. The thickness of the slab changes due to the snow and wind loads. Trachte can only assume a 1,500 lb soil bearing capacity. If you have a soil report that states a higher capacity, it can impact the thickness of the foundation.



① STANDARD TRENCH DETAIL, NOTCHED
TSTDN01
SCALED UP 6X

Dig a 12" wide trench in preparation for a 12" wide trench wall foundation.



The 12" wide trench is poured with #4 steel reinforcement bars protruding upward to anchor floor slabs. These bars are capped for safety.

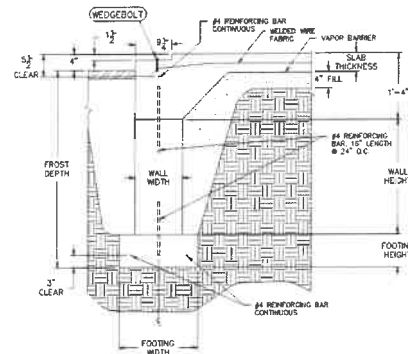
Alternative to the two step trench wall: surround the 12" wide trench wall foundation with forms and pour all concrete at once. The wood form stops the pour at the 12" step down.



Foundation Details

Frost Wall Foundations

The frost wall footing may be used in lieu of a trench wall footing. The footing is poured first, then forms are used for the walls. This system typically is more expensive than a trench wall foundation. This foundation is easiest to insulate.



① FROST WALL DETAIL, NOTCHED

FRSTN01

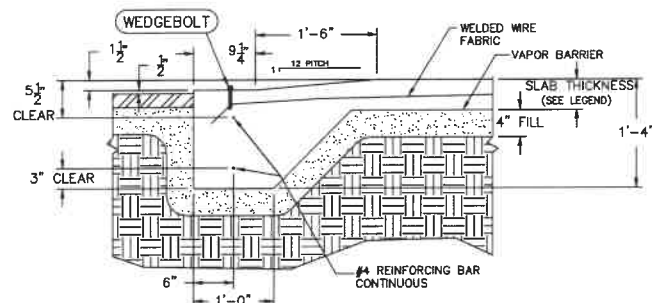
SCALED UP 6X



The frost walls are poured, then the forms are taken off. Additional forms must be added to form the top portion of the slab and notch.

ADA Compliance

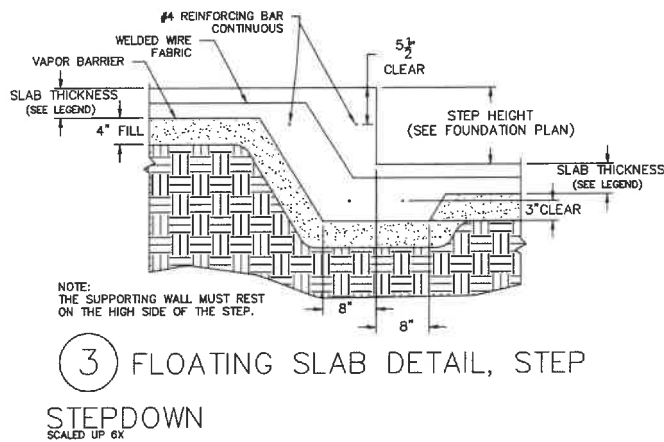
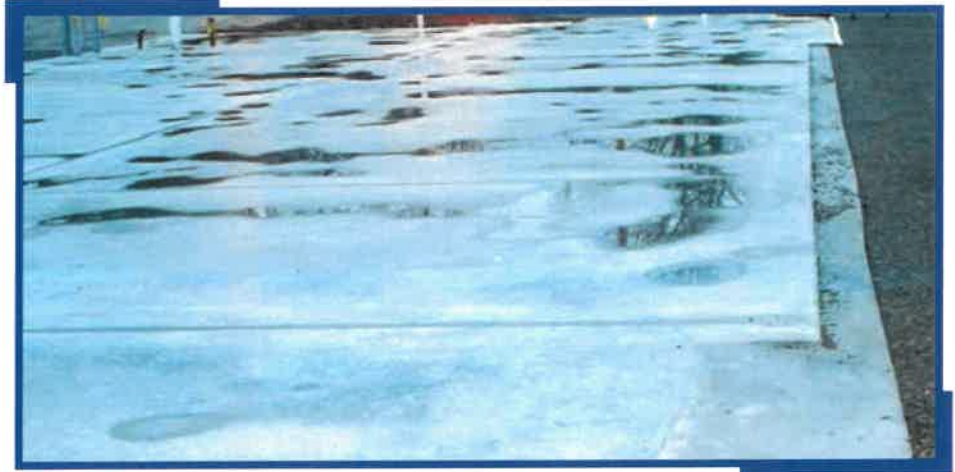
Units that are required to comply with the ADA (American Disability Act) must have the notch sloped at 1" and pitched to the finished floor height. Talk to your regional manager for details specific to your building code.



①B FLOATING SLAB DETAIL,
ADA PITCH, NOTCHED

FLTADA
SCALED UP 6X

An ADA unit once poured.



Steps

If your building requires steps in the foundation, this detail illustrates how it is constructed.

Each section of foundation is poured to the next step.



Foundation Details

This photo depicts a finished building step. Stone or driveway base should be placed around the slab prior to arrival of building.



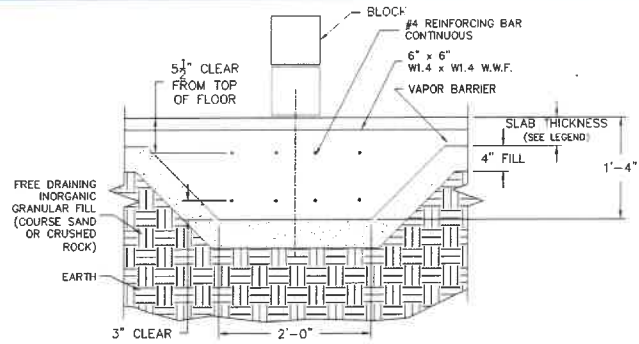
The finished stepped foundation.

A step may be added along the length of the building. The longitudinal step should be done in 6" increments. Trachte will design the building so that there is no step in the roof.



Firewalls

If your building requires a block firewall, the foundation must be installed underneath the block.



① FIREWALL FOOTING DETAIL



The block firewall rests directly on the slab.

The finished foundation with a corner bollard (6" minimum) and finished pavement. It is recommended to have 1"- 3" from the bottom of the notch to the pavement. The ADA units must have pavement to within 1/2" of the bottom of the notch.



Concrete Finishing

Once the concrete has set, mark and chalk line the foundation every 10' down the length of the building. The first line should be located 11' off the end wall so all the cuts are off the structural line. Note: Try to minimize the saw cut inside the interior hallways.



Saw cut the slab once along the width of the building and then every 10'-15' along the length. The center saw cut should not be placed on a structural line, or in the hallway if possible.

Saw cut should be located 12" off the structure line.



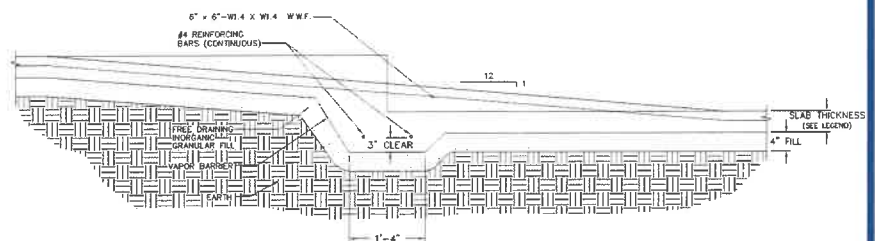
A concrete sealer is applied to create a smooth, finished surface that is easier to clean and prevents spilled liquids from being absorbed.



The foundation is designed 2" wider than the building width. The added width allows for variations in the concrete. The foundation should be set out past the building by 1" as shown.

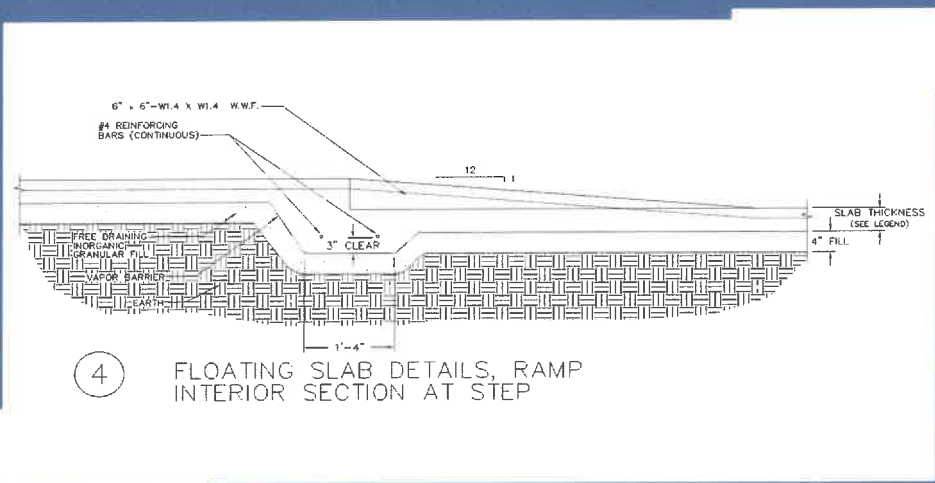
Ramps for Corridors

If you have a corridor in your building with a step in it, you must slope the corridor at a 1% grade. The typical detail is to center the ramp in the step.



4 FLOATING SLAB DETAILS, RAMP
INTERIOR SECTION THRU STEP

This ramp is centered in the step.



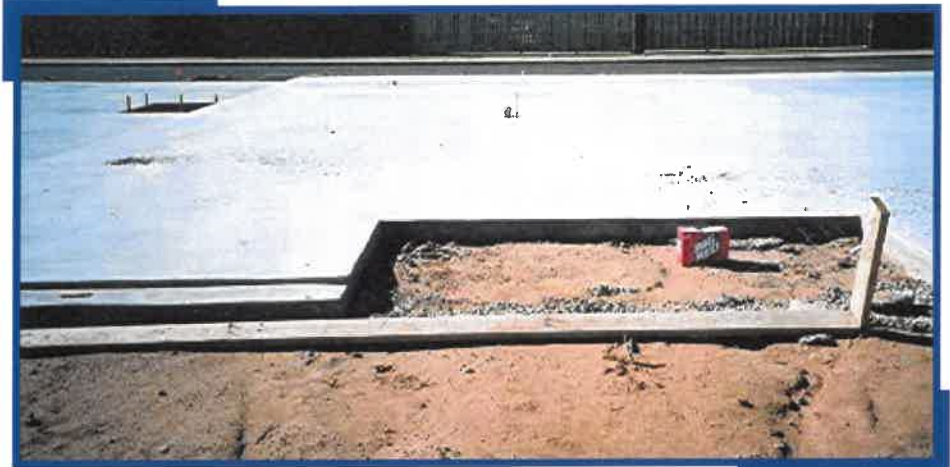
Details of an alternative ramp, which starts from the top of the step and slopes to the lower finished floor.

This ramp started at the top of the step and slopes at a 1":12" slope to the lower finished floor.



Recessed Corridors

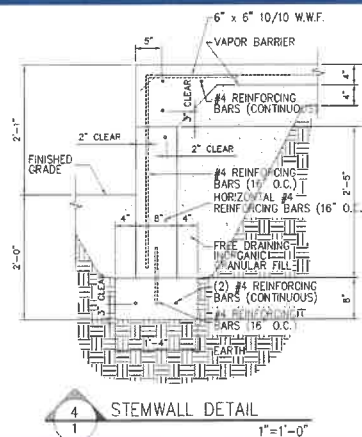
If the building has a recessed corridor, the foundation must be poured at a slope. Typically, the sloped area is poured after the slab is completed.



This photo shows a ramp in the foundation that is sloped back 5' for a recessed entryway. It will have an exterior swing door to access the interior corridor.

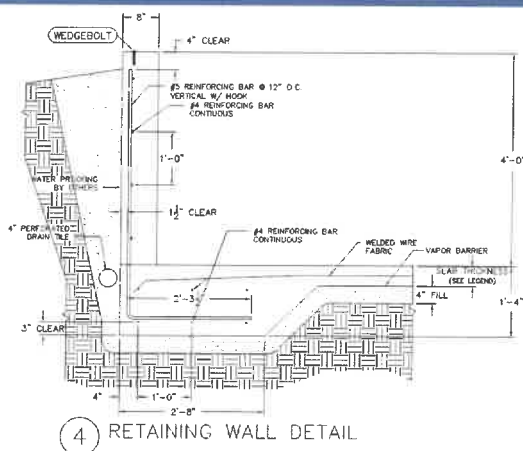
Stemwall Details

If the land elevation is lower than the foundation elevation, the building may require a stemwall to hold up the foundation. The height of the stemwall will be the difference between the land grade and foundation grade plus the frost depth.



Foundation Details

A finished stemwall.



Retaining Wall Details

If building into a hill, a retaining wall is needed to hold back the earth. It is highly recommended to have a soil report to minimize the retaining wall specifications.

A photo of a building built into a hill with a retaining wall.



The retaining wall can also step with the foundation to conform to the slope of the land.



An inside view of the retaining wall.

Foundations Poured on a 1% Grade

Foundations may also be poured on a slope of up to 1%. This building is 150' long and the right side is 1'6" higher than the left. This option can eliminate steps, but you must hire a very competent concrete contractor to ensure success of the project.



video at
trachte.com

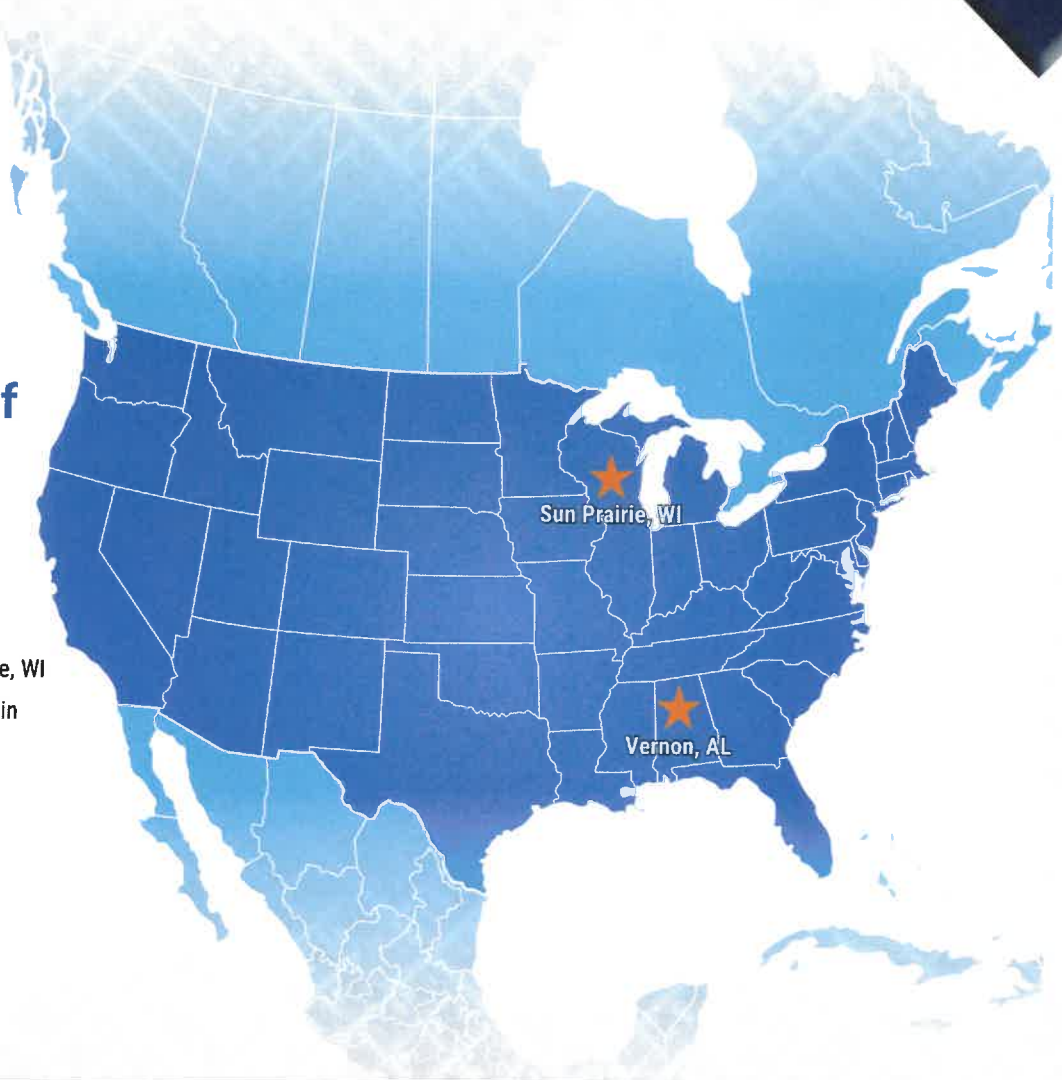
Look at our video *Erecting Your Building On A 1 Percent Slope.*



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