



Schoolcraft Township Planning Commission Meeting

December 4, 2023

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of agenda
5. Approval of minutes
 - a. Regular meeting of November 6, 2023
6. Public comment *
7. New business
 - a. Master Plan Update
 - b. Site Plan Review-TM Asphalt
8. Old business
9. Report from Township Board
10. Report from Zoning Board of Appeals
11. Adjournment

** Public comment limited to 3 minutes*

Schoolcraft Township Planning Commission

Minutes for: Monday, November 6, 2023

Commissioners:

Name	Present	Absent
Barry Visel (Chairman)	x	
David Aubry (Vice Chairman)	x	
Rich Bailey		x
Eric Jasiak	x	
Tamra Stafford	x	
Jim Jastifer	x	
Nathan Miersma	x	

Also present:

Name	Description
Don Ulsh	Township Supervisor
Brian Pittelko	Consultant, W.E. Upjohn Institute for Employment Research

Call to order

Chairman Visel opened the meeting at 6:00 pm.

Pledge of Allegiance

Approval of agenda

Commissioner Stafford moved to approve agenda, supported by Commissioner Aubry. Motion carried 6-0.

Approval of previous meeting minutes

Commissioner Jasiak motioned to approve the minutes of October 2, 2023 as presented. Motion was seconded by Commissioner Aubry. Motion carried 6-0.

Public comments / citizen time:

A citizen voiced concern over the ratio of non-conforming lakefront lots, highlighting the results of his personal research that almost no lakefront lots are 20,000 square feet or have 100' of frontage (minimum lot requirements per Article 20 of Schoolcraft Township zoning book). He stated that his research concluded that 106 of 240 properties with this zoning are lakefront properties, of which approximately 16% come close to zoning requirements by his estimations. As a result of their pre-existing condition as non-conforming properties, this results in approximately 45% of all property owners being required to pay \$2500 fees and submit any requests for changes to the Zoning Board of Appeals. The citizen stated that he doesn't believe this fee exists to be a source of income for the township. The same citizen highlighted that a "lake frontage zoning classification" appears to have existed for a period of time before being vacated as a result of planning commissions decisions in the past and requested that this topic be reconsidered for the reasons he outlined during the meeting.

Commissioner Visel and other planning commission members suggested that lakeside property should be a discussion topic for a future planning commission meeting, to specifically include zoning code considerations to reduce non-conforming properties and split-zone lots.

New business**1. Master Plan Update**

Schoolcraft Township demographics and projections were reviewed, including the key takeaway that Schoolcraft Township has grown at a faster rate than the county. This growth rate is projected to continue for the next decade or beyond.

W.E. Upjohn institute representative Brian Pittelko highlighted that, based on our demographics today and evidence suggesting that citizens prefer to stay in Schoolcraft Township even as grow older, increased senior living options should be considered in order to allow residents to continue to live in the community if/after they cannot remain in their homes.

The planning commission reaffirmed the primary goals for the Master Plan, including reiterating that existing goals and policies remain well aligned with the future goals of the township as represented by township survey results and the planning commission members.

Large-format Current and Future Land Use will be prepared and available during the next Planning Commission meeting to facilitate master plan discussions.

Old business:

None

Report from the Township Board

Commissioner Stafford provided a summary report of township board activities:

- The historical society requested funds for the underground railroad house, and the Township Board approved a \$10,000 grant with additional funding to be considered in 2024.
- The board approved an IT contract, an intergovernmental agreement with Kalamazoo County
- Schoolcraft library appointed a new library board member
- Vicksburg rocket football will be holding events at Swan Park in future seasons
- The board continued their discussion of appropriate/desired use of ARPA funds
- A new electronic sign will be placed in front of the township office

Report from the Zoning Board of Appeals:

None

Adjournment

Commissioner Visel adjourned the Planning Commission meeting at 6:53pm.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Nate Miersma", with a long horizontal flourish extending to the right.

Nate Miersma

ZONING ADMINISTRATOR'S REPORT

ADDRESS: 12230 US 131
ID# 14-07-130-024

APPLICANT: KYLE HILLSBURG – KCH HOMES, LLC
8657 WEST YZ AVE, SCHOOLCRAFT MI 49087
PH: 269-808-5980

OWNER: TM ASPHALT SEALING
10574 PQ AVE, MATTAWAN MI 49071
PH: 269-823-3334

ZONING DISTRICT: US-131 CORRIDOR COMMERCIAL/INDUSTRIAL DISTRICT

REQUEST: TO CONSTRUCT OFFICE BUILDING AND CONTRACTOR YARD
W/STORAGE BUILDING.

SITE PLAN REVIEW:

1. The name and address of the applicant **DEPICTED**
 - a. If corporation, the name, and address of the officers thereof.
 - b. If a partnership, the names and addresses of each partner.
2. Legal description of the property **ATTACHED**
3. Drawings showing tentative plans **DEPICTED**
4. The date, north arrow, and scale; the scale shall not be less than one (1) inch equals twenty (20) feet for property under three (3) acres and at least (1) inch equals one hundred (100) feet for those three (3) acres or more **DEPICTED**
5. All lot and/or property lines are to be shown and dimensioned, including building set back lines **DEPICTED**
6. The location and height of all existing and proposed structures on and within one hundred (100) feet of the subject property. **N/A OR WAIVER**
7. The location and dimensions of all existing and proposed drives and aisles, sidewalks, curb openings, signs, exterior lighting, parking spaces, loading, and unloading areas, outdoor display and storage areas, and recreation areas, etc. **DEPICTED**
8. The location of the pavement and right-of-way width of all abutting roads, streets, or alleys. **DEPICTED**
9. The name and firm address of the professional individual responsible for the preparation of the site plan (including imprint of his professional seal, if any) **DEPICTED**
10. The name and address of the property owner or petitioner. **DEPICTED**
11. The locations of all rubbish receptacles and landscaping and the location, height and type of fences and walls **N/A OR WAIVER**
12. The size and location of existing and proposed utilities, including proposed connections to public sewer or water supply systems, if available. **DEPICTED, ELECTRIC NOT DEPICTED**
13. The locations of all fire hydrants. **N/A OR WAIVER**
14. (For mobile home parks) The lot size, setbacks, trailer pads, patios, and complete park layout. **N/A**
15. The locations and dimension of all existing proposed interior and exterior areas and structures (including above or below ground storage tanks) to be used for the collection, storage, use, loading/unloading, recycling, or disposal of any chemicals, fuels, flammable materials, contaminated stormwater, or wash water or hazardous materials. **N/A - WAIVER**
16. The locations of all existing and proposed floor drains. **N/A - WAIVER**

17. The location and size of all existing and proposed exterior drains, drywells, catch basins, retention/detention areas, sumps and other facilities designed to collect, store or transport storm water, including the point of discharges for all associated drains and pipes. **DEPICTED**
18. Property survey by registered surveyor. **WAIVER**
19. The existing and proposed contour shall be shown on all site plans. (Two (2) foot intervals, minimum) **NOT DEPICTED**
20. The locations of all lakes, streams, wetlands, county drains, and other waterways abutting or within one hundred (100) feet of the subject property. **N/A OR WAIVER**
21. The front, side, and rear elevations for all new buildings on the property. Also, with respect to site plans involving multiple-family dwelling, either floor plans for all such buildings or information that is otherwise sufficient to show compliance with applicable minimum gross floor area per swelling unit square footage requirements (Complete floor plans are optional with respect to other types of developments subject to site plan review, but may be required by the Planning Commission where deemed necessary to properly evaluate compliance with the criteria for site plan approval.) **DEPICTED**
22. A description of the operation proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, land pollution, fire or safety hazards, or the emission of all potentially harmful or obnoxious matter radiation. **NOT DEPICTED**
23. Engineering and architectural plans for the treatment and disposal of sewage and industrial waste tailings and unusable by-products. **NOT DEPICTED**
24. The proposed number of shifts to be worked and the maximum number of employees on each shift. **DEPICTED IN APPLICATION**
25. Any other information deemed necessary by the Planning Commission.

ZONING ADMINISTRATOR COMMENTS:

THE NEW CONSTRUCTION APPEARS TO MEET AND/OR EXCEED ALL SETBACK REQUIREMENTS, DOES NOT EXCEED HEIGHT AND LOT COVERAGE MAXIMUMS.

PARKING DEPICTED, HOWEVER NOT THE AMOUNT OF PARKING SPACES PER ARTICLE 26.

LIGHTING NOT DEPICTED.

SIGNAGE NOT DEPICTED.



ZONING ADMINISTRATOR

11/30/2023

DATE



**KALAMAZOO
COUNTY GOVERNMENT**
In pursuit of extraordinary governance

Equalization Department

Property Summary Details

🏠 / Equalization Department / Property Summary Details of Parcel Search

Data is ONLY updated annually. **Last updated June 27, 2023.**

For current information contact **local assessor** - Refer to List of Assessors page

Tax information contact **Treasurer (269-384-8124)**

Recorded documents contact **Register of Deeds (269-383-8970)**

Property Summary

Parcel:	14-07-130-024	Property Class:	201 - Commercial
Gov. Unit:	14 - SCHOOLCRAFT TWP	Previous Class:	201 - Commercial
School:	39160 - Schoolcraft Community		
Property Address:	12230 S US 131 HWY SCHOOLCRAFT, MI 49087		
Owner's Name:	TM ASPHALT SEALING, LLC		

Owners Mailing Address:

10574 PQ AVE
MATTAWAN, MI 49071

Physical Property Characteristics

2023 S.E.V.:	82,500	Taxable:	82,500
2022 S.E.V.:	120,100	Taxable:	36,105
PRE:	0%	Acreage:	11.02
Legal Description:	SEC 7-4-11 BEG ON N & S 1/4 LI 1134.04 FT S OF N 1/4 POST TH S ALG SD 1/4 LI 162.71 FT TH W PAR N LI 570 FT TH S 155 FT TH W 631.72 FT TH N 627.71 FT TH E TO A PT 570 W OF SD 1/4 LI TH S 310		

FT TH E 570 FT TO BEG EXC E 70 FT THEREOF** SPLIT ON
02/12/2011 FROM 14-07-130-025;

Data is ONLY updated annually. **Last updated June 27, 2023.**

For current information contact **local assessor** - Refer to List of Assessors page

Tax information contact **Treasurer (269-384-8124)**

Recorded documents contact **Register of Deeds (269-383-8970)**

© 1995-2023 County of Kalamazoo

Must be Completed!

Site Plan Review Application

1. Applicant Kyle Hillsburg - KCH Homes, LLC Phone (269) 808-5980

2. Applicant Address 8657 west YZ Ave Schoolcraft MI 49087

3. Project Location 12230 US 131 HYW Schoolcraft MI 49087

4. Legal Description Parcel ID 14-07-130-024

5. Zoning District _____ Parcel Size 11.02 acres

6. What are you proposing to build? TM asphalt sealing construction storage yard

7. What will it be used for? Truck/equipment storage - office space

Applicant Signature



Date 11-3-23

(For Township use only)

Date Application Received 11/22/23 Fee Paid \$ 350⁰⁰ Ck# _____

Zoning Administrator: _____

Formal Site Plan Review Checklist (Required)

All formal site plan review applications shall include all of the following (unless clearly not applicable or officially waived by the Planning Commission.):

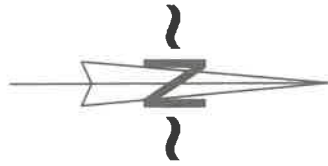
- ✓ ☒ 1. The name and address of the applicant
If corporation, the name and address of the officers thereof.
If a partnership, the names and addresses of each partner.
- ✓ ☒ 2. Legal description of the property
- ✓ ☒ 3. Drawings showing tentative plans
- ✓ ☒ 4. The date, north arrow and scale; the scale shall not be less than one (1) inch equals twenty (20) feet for property under three (3) acres and at least one (1) inch equals one hundred (100) feet for those three (3) acres or more
- ✓ ☒ 5. All lot and/or property lines are to be shown and dimensioned, including building set back lines
- ✓ ☒ 6. The location and height of all existing and proposed structures on and within one hundred (100) feet of the subject property.
- ✓ ☒ 7. The location and dimensions off all existing and proposed drives and aisles, sidewalks, curb openings, signs, exterior lighting, parking spaces, loading and unloading areas, outdoor display and storage areas, and recreation areas, etc.
- ✓ ☒ 8. The location of the pavement and right-of-way width of all abutting roads, streets or alleys.
- ✓ ☒ 9. The name and firm address of the professional individual responsible for the preparation of the site plan (including imprint of his professional seal, if any)
- ✓ ☒ 10. The name and address of the property owner or petitioner.
- ✓ ☒ 11. The locations of all rubbish receptacles and landscaping and the location, height and type of fences and walls.
- ✓ ☒ 12. The size and location of existing and proposed utilities, including proposed connections to public sewer or water supply systems, if available.
- ✓ ☒ 13. The location of all fire hydrants.
- ✓ ☒ 14. (For mobile home parks) The lot size, setbacks, trailer pads, patios, and complete park layout.
- ✓ ☒ 15. The location and dimensions of all existing proposed interior and exterior areas and structures (including above or below ground storage tanks) to be used for the collection, storage, use, loading/unloading, recycling, or disposal of any chemicals, fuels, flammable materials, contaminated stormwater or washwater, or hazardous materials.
- ✓ ☒ 16. The location of all existing and proposed floor drains.
- ✓ ☒ 17. The location and size of all existing and proposed exterior drains, drywells, catch basins, retention/detention areas, sumps and other facilities designed to collect, store or transport storm water, including the point of discharges for all associated drains and pipes.
- ✓ ☒ 18. Property survey by registered surveyor.

- ☒ 19. The existing and proposed contour shall be shown on all site plans. [Two (2) foot intervals, minimum]
- ☒ 20. The location of all lakes, streams, wetlands, county drains, and other waterways abutting or within one hundred (100) feet of the subject property.
- ☒ 21. The front, side and rear elevations for all new buildings on the property. Also, with respect to site plans involving multiple-family dwellings, either floor plans for all such buildings or information that is otherwise sufficient to show compliance with applicable minimum gross floor area per dwelling unit square footage requirements (Complete floor plans are optional with respect to other types of developments subject to site plan review, but may be required by the Planning Commission where deemed necessary to properly evaluate compliance with the criteria for site plan approval.)
- ☐ 22. A description of the operation proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, land pollution, fire or safety hazards, or the emission of all potentially harmful or obnoxious matter or radiation.
- ☐ 23. Engineering and architectural plans for the treatment and disposal of sewage and industrial waste tailings and unusable by-products.
- 1 ☒ 24. The proposed number of shifts to be worked and the maximum number of employees on each shift.
- ☐ 25. Any other information deemed necessary by the Township Planning Commission.

The Planning Commission may waive any of the above enumerated required items of content for a final site plan if the Commission determines the item of content either does not apply to the proposed use, or is otherwise unnecessary to evaluate the use for which approval is sought-pursuant to the site plan approval standards specified in Section 24.6 of this ordinance.

All Items Must Be Included in the Site Plan Packet or a Legitimate Explanation Must Be Written As To Why They Are Not.

PROPERTY LINE



DATE: 11-3-23
SCALE 1"= 110'

!



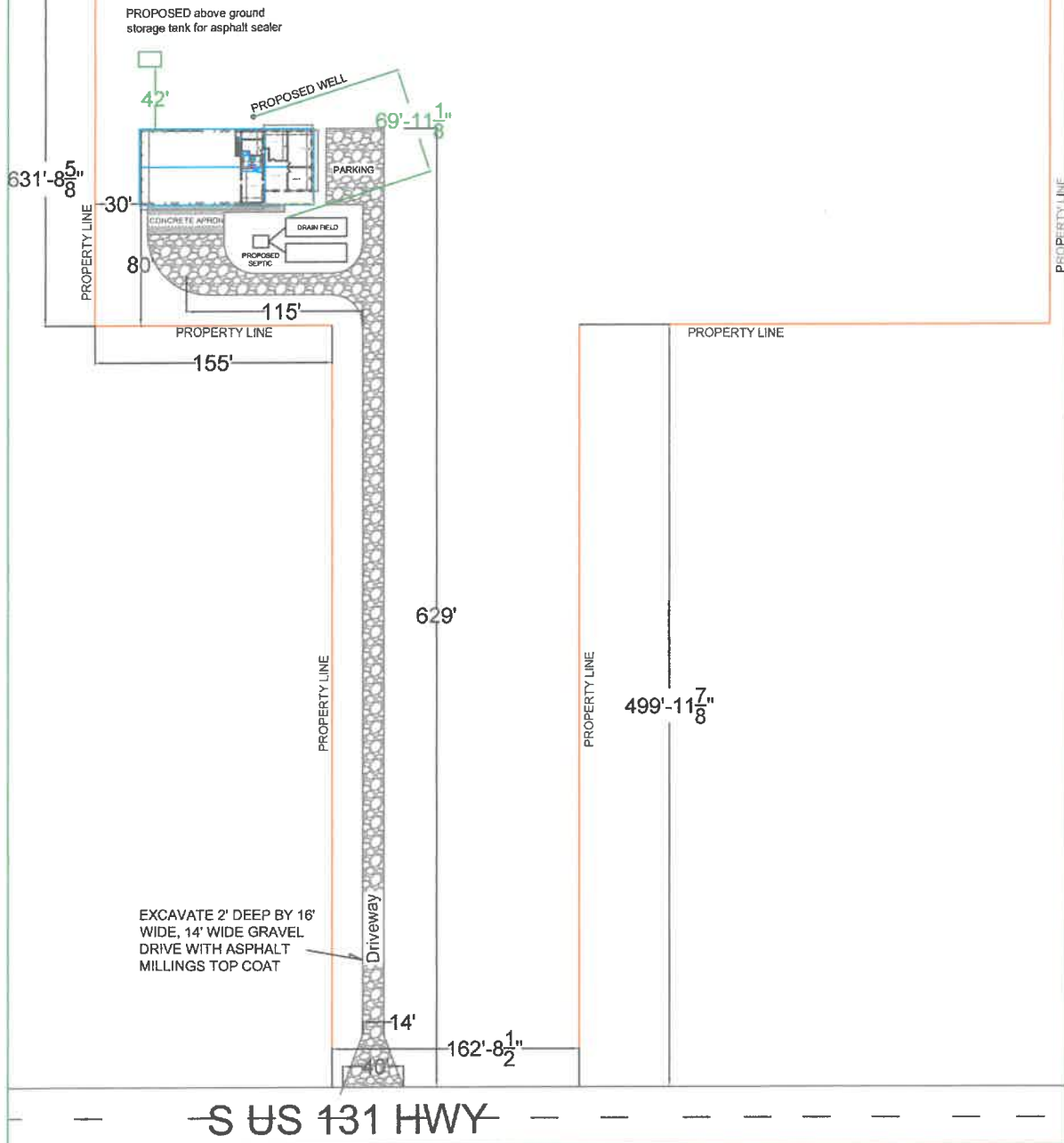
PHONE: (269) 808-5980
EMAIL: Kchhomesllc@gmail.com
ADDRESS: 8657 West YZ Ave
Schoolcraft, MI 49087

APPLICANT/ PLAN PREPARED BY, Kyle Hillsburg

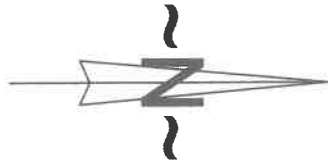
Company: TM ASPHALT SEALING
owner: Brandon Bordner - 269-823-3334
Tammy Stafford - 269-370-1778
address: 10574 PQ Ave Mattawan
MI 49071

Location: 12230 S US 131 HWY
Schoolcraft, MI 49087

Parcel ID: 14-07-130-024

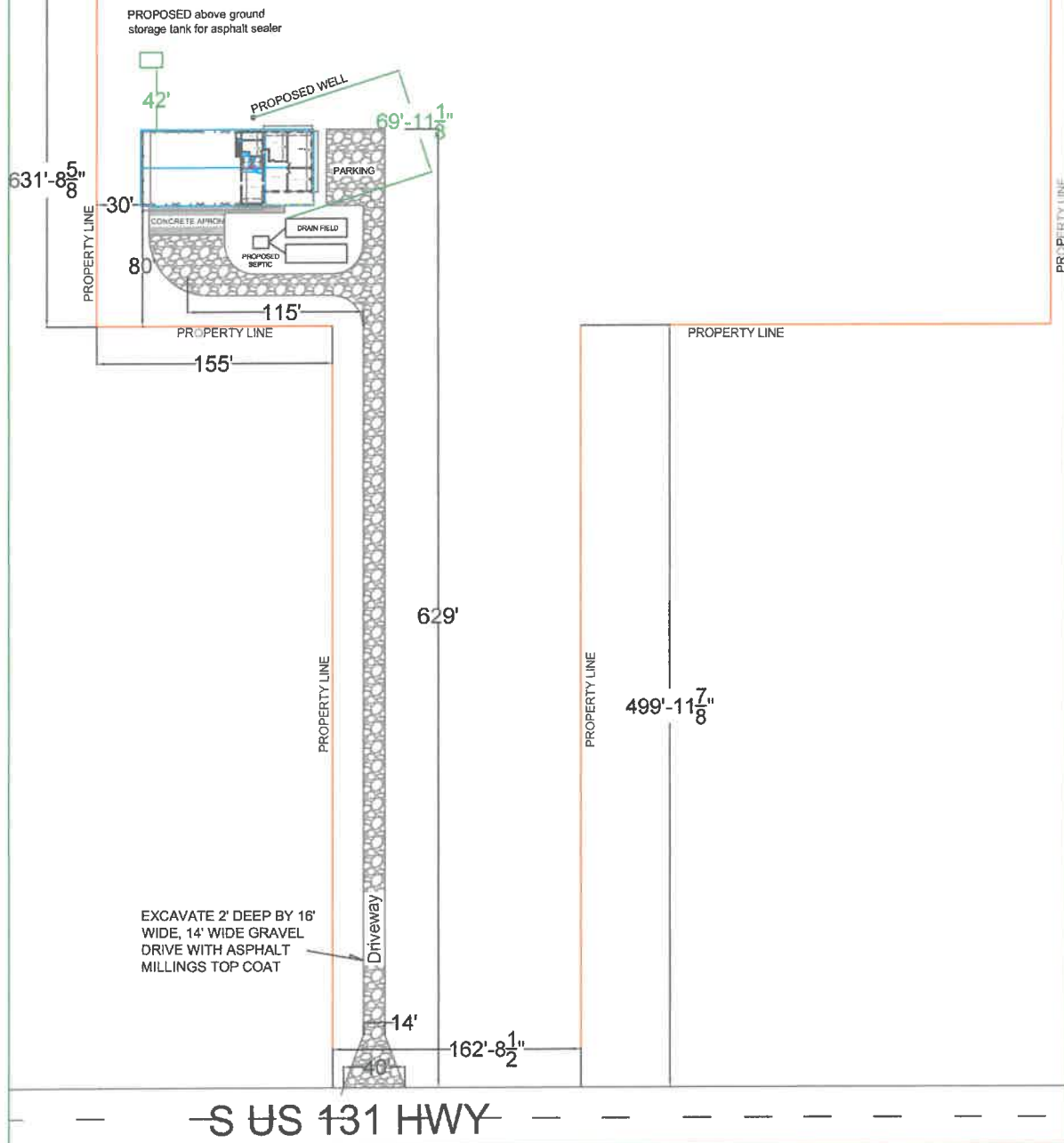


APPLICANT/ PLAN PREPARED BY, Kyle Hillsburg



!!

Parcel ID: 14-07-130-024



NOTE: All Federal, State and local codes, ordinances, regulations, etc. shall be considered as part of specifications for this building and shall take priority over anything shown, described or implied where discrepancies occur. Contractor shall verify all dimensions before proceeding with construction. Not Engineering is not responsible for any errors that may be present.

Engineering

LLC

3040 120th Ave.
Hampton, MI 49417

ARCHITECTURAL PLANS FOR:

TM ASPHALT SEALING

KCH HOMES

REVISIONS

PROJECT
BUILDING
48' x 80' x 18'
32' x 40' x 9'
TOP
ELEVATION & INDEX
PAGE: 1 of 8
SHEET: 5120
DATE: 9/15/23
REVISED:
SCALE: 1/4" = 1'-0"
DRAWN BY: CMB
DATE: 9/15/23
DWG NO.: KCH-Homes-Design-Vision

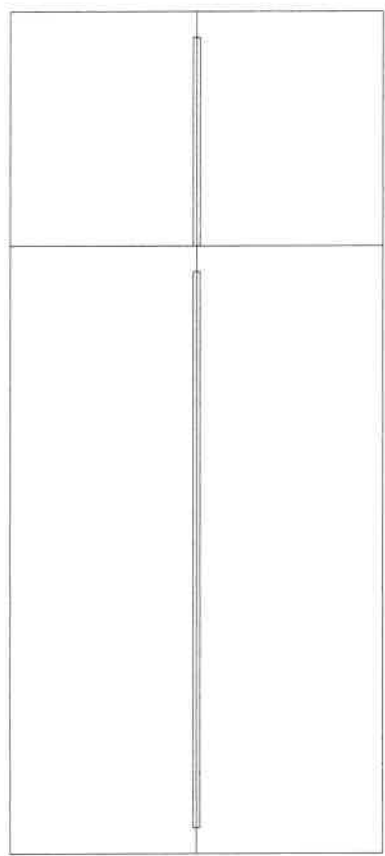
A-1

KCH HOMES
TM ASPHALT SEALING
1220 S US 131 HWY
SCHOOLCRAFT, MI 49087

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN R. BECKSVORT, PE
LATITUDE ENGINEERING, INC
7616 CLYDE PARK SW, SUITE C
BYRON CENTER, MI 49315
(616)585-1001

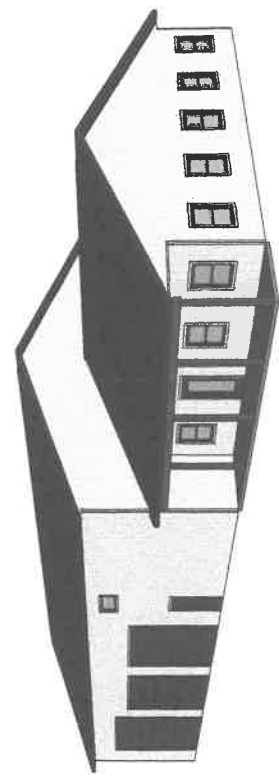
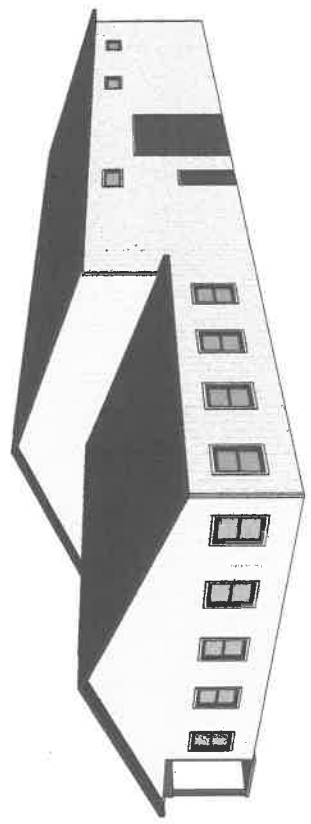
TOP ELEVATION

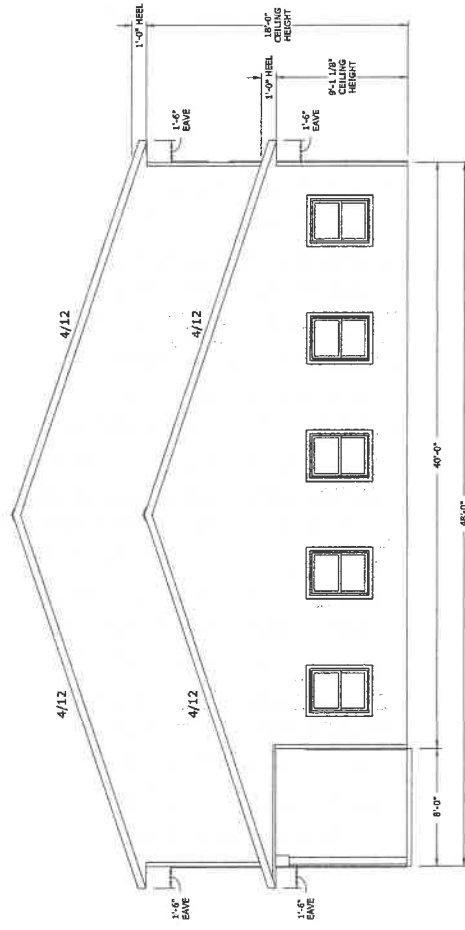
SCALE: 1/8" = 1'-0"



INDEX:

- 1 ~ TOP ELEVATION & INDEX
- 2 ~ FRONT & RIGHT ELEVATION VIEWS
- 3 ~ LEFT & REAR ELEVATION VIEWS
- 4 ~ MAIN FLOOR PLAN
- 5 ~ MEZZANINE FLOOR PLAN
- 7 ~ SECTION VIEWS
- 8 ~ SECTION VIEWS





NOTE: All Federal, State and local codes, ordinances, regulations, etc. shall be considered as part of the design. The Engineer is not responsible for any errors that may be present.

Engineering has made every effort to avoid mistakes and omissions before proceeding with construction. Back check everything shown, described or implied herein and everything shown, described or implied herein.



ARCHITECTURAL PLANS FOR:
TM ASPHALT SEALING
KCH HOMES

REVISIONS

PROJECT
BUILDING
48' x 60' x 16'
ELEVATION
ELEVATION
VIEWS

PAGE:	3 of 8
REV. FT.:	9120
DATE:	9/15/23
REVISED:	
SCALE:	1/4" = 1'0"
DRAWN BY:	CMB
DWG NO.:	231-Homer-1001

A-3

KCH HOMES
TM ASPHALT SEALING
12230 S US 131 HWY
SCHOOLCRAFT, MI 49067

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN R. BECKSVORT, PE
LATTITUDE ENGINEERING, INC
7616 CLYDE PARK SW, SUITE C
TROY CENTER, MI 48065
(810)385-1001

RIDGE VENT

RIDGE VENT

STEEL
ROOFING

STEEL
SIDING

REAR ELEVATION

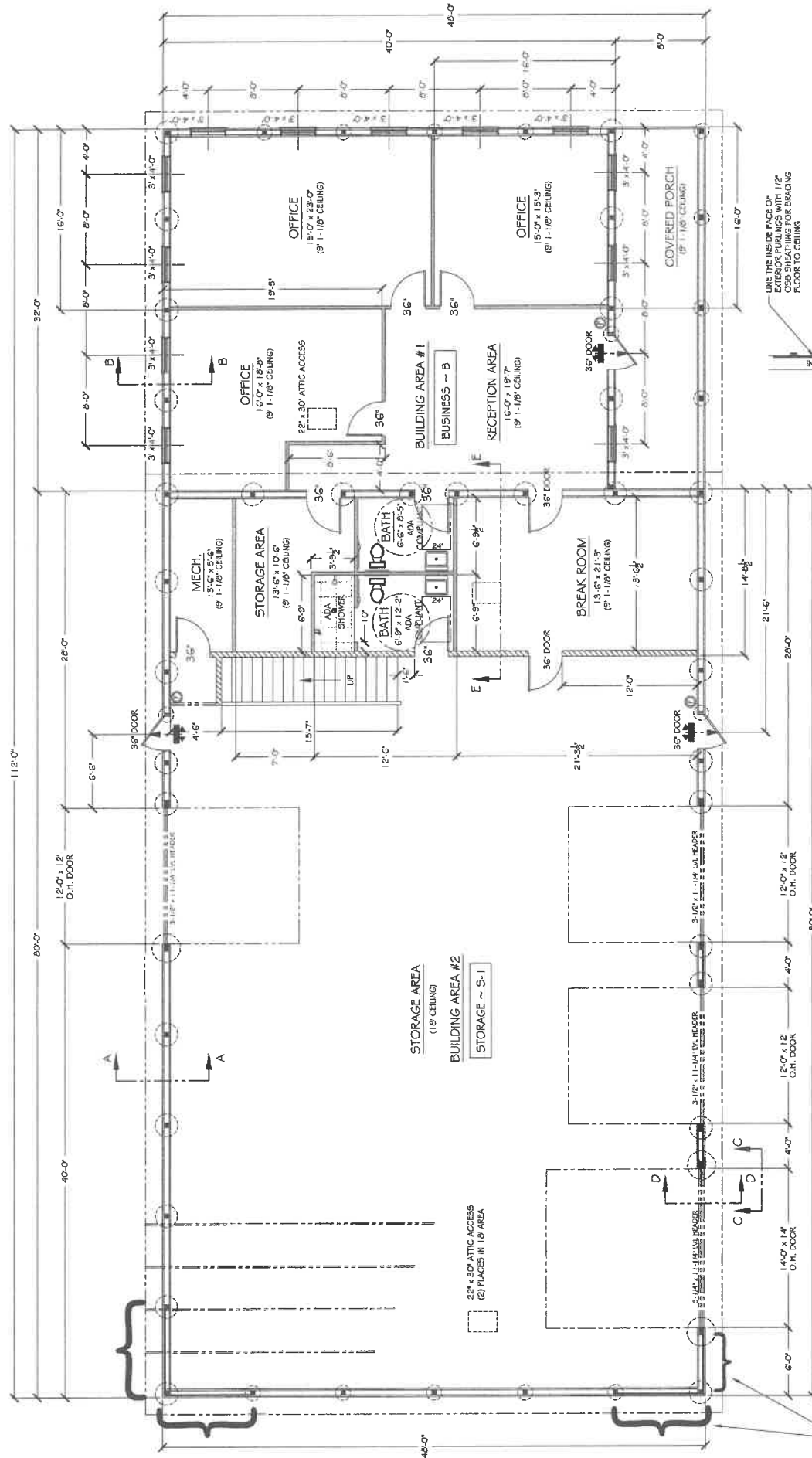
LEFT ELEVATION

REVIEWS

PROJECT
BUILDING
 48' x 80' x 18'
 32' x 40' x 9'

MAIN FLOOR PLAN

PAGE: 4 of 8
SQ. FT.: 5120
DATE: 9/15/23
REVISED:
SCALE: 1/4" = 1'0"
DRAWN BY: MLB
DWG NO.:
K&H Homes - Main Floorplan - 1st



KCH HOMES
TM ASPHALT SEALING
12230 S US 131 HWY
SCHOOLCRAFT MI 49087

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN R BECKVOORT, PE
LATITUDE ENGINEERING, INC
7616 CLYDE PARK SW, SUITE C
BYRON CENTER, MI 49315
(616) 583-1601

OSB BRACING DETAIL

**PORTABLE
10-B FIRE**

**EXIT SIGN WITH
EMERGENCY LIGHTING**

▶ EMERGENCY LIGHTING

MAIN FLOORPLAN

BUILDING AREA #2

SQUARE FOOTAGE
STORAGE 5-1 = 3168

BUILDING AREA #1

SQUARE FOOTAGE
BUSINESS = 1952

1/2" OSB CORNER BRACING
~ FLOOR TO CEILING ~ (2) PLACES

NOTES:

1. ALL SURFACES FOR PRESERVATIVE TREATED WOOD SHALL BE PROTECTED WITH AN APPROPRIATE PRESERVATIVE. PRESERVATIVE SHALL BE APPLIED TO ALL EXPOSED SURFACES OF ALL STEEL, GALVANIZED STEEL, STAINLESS STEEL, ZINC COATED, COPPER OR OTHER CORROSION-RESISTANT MATERIAL.

2. IF FLOORING REQUIRED ON ALL OVERHANGS NOT TO EXCEED 80 INTERVALS

3. EACH ATTIC AREA TO HAVE A MIN. ACCESS OPENING OF 22" x 30"

4. VENTILATION RATE TO BE 1 SFT OF VENTILATION FOR EVERY 150 SFT OF ATTIC AREA WHEN BOTH GUTTER AND RIDGE VENTS ARE INSTALLED

5. EACH ATTIC AREA TO BE A MAXIMUM OF 3,000 SFT. TRANSPORTATION IN ATTIC AREA CONSISTING OF (1) LAYER OF 1/2" DRUM OR 1/2" OSB CONTINUOUS FROM GUTTER TO ROOF EAVE - FIELD JOINTS

6. ALL DOORS AND HATCHWAYS MUST MEET IRC 1008.1.5 TO 1008.1.5.2, AND ANSI Z39.4 + 404.2.

NOTES: All Federal, State and local codes, ordinances, regulations, etc. shall be considered as part of the design. The Engineer shall be responsible for the design and construction of the structure. The Engineer shall be responsible for the design and construction of the structure. The Engineer shall be responsible for the design and construction of the structure.

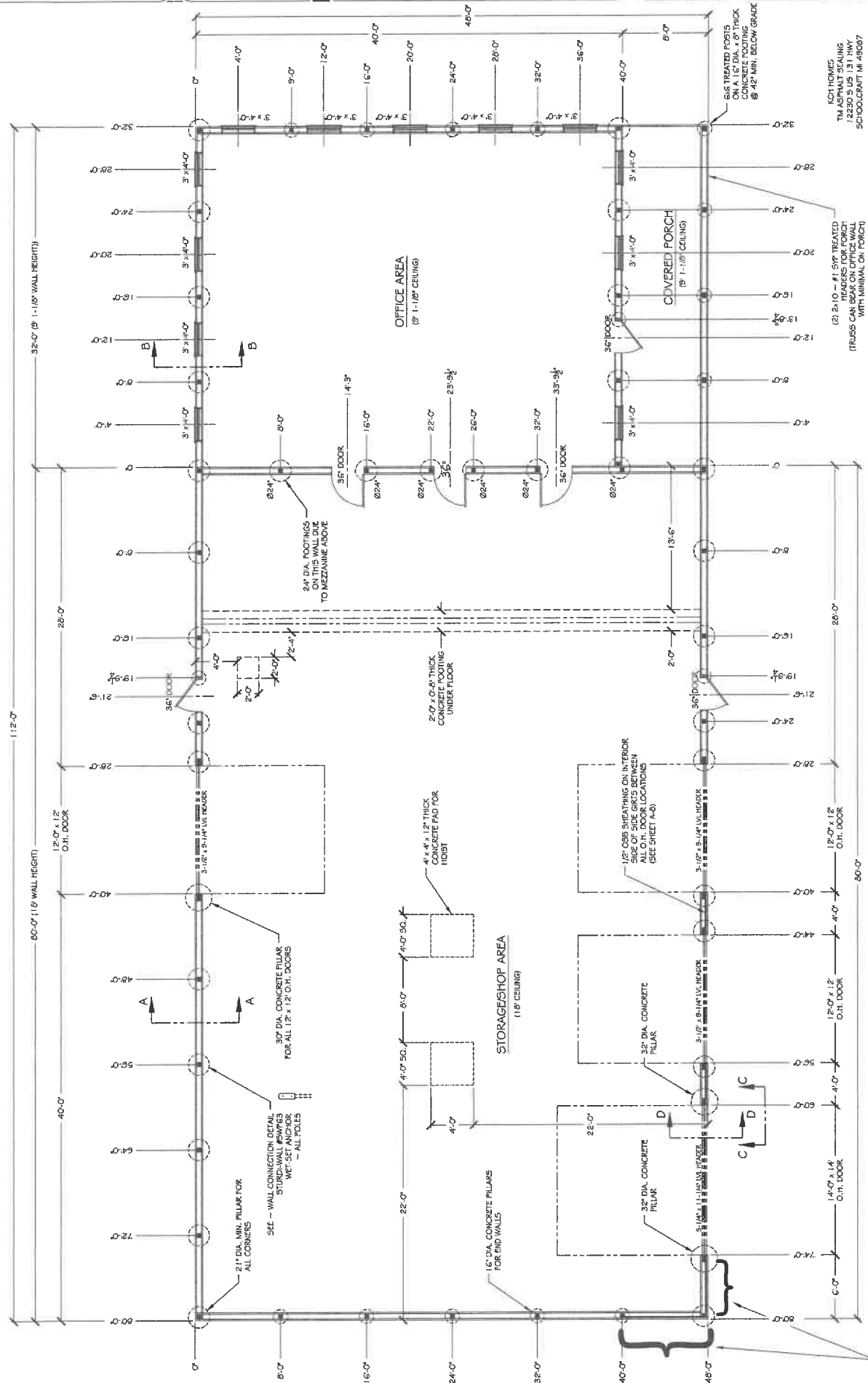


ARCHITECTURAL PLANS FOR: TM ASPHALT SEALING KCH HOMES

REVISIONS

PROJECT
BUILDING: 48' x 120' x 15'
POLE LAYOUT

PAGE: 6 of 8
SO. T.I.: 5120
DATE: 9/18/23
REVISED:
SCALE: 1/4" = 1'-0"
DRAWN BY: JALB
DWG. NO.: KCH-Homes-PoleLayout-240



KCH HOMES
TM ASPHALT SEALING
17230 S US 131 HWY
SCIOLOGRAFT IN 45087

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN A. BEGGS/VOORT, PE
10000 WILSON ROAD
7616 CLIDE PARK SW, SUITE C
BYRON CENTER, MI 49315
(516) 555-1160

POLE LAYOUT

NOTE: All Federal, State and local codes, ordinances, regulations, etc., shall be considered as part of the project. The Engineer shall be responsible for any errors that may be present.

Black Engineering has made every effort to ensure that the drawings are in accordance with the specifications. However, the Engineer shall be responsible for any errors that may be present.



ARCHITECTURAL PLANS FOR: TM ASPHALT SEALING KCH HOMES

REVISIONS

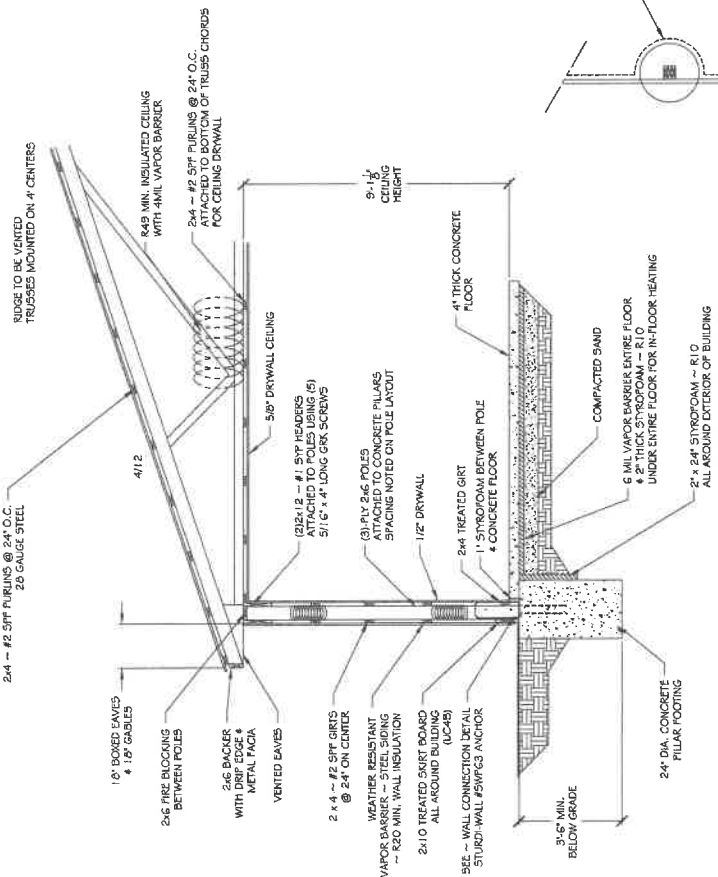
PROJECT
BUILDING
48' x 80' x 18'
32' x 40' x 9'
SECTION VIEW A-A
BATHROOM DETAIL
PAGE: 7 of 8
SO. FT.: 5120
DATE: 9/18/23
REVISIONS:
SCALE: 1/4" = 1'-0"
DRAWN BY: ALB
DWG. NO.: 121-HS-23-01-Rev A-1-407

ENGINEERED ROOF TRUSSES - 4/12 PITCH - MOUNTED ON 4' CENTERS - WITH 12' ENERGY RIEL
DESIGNED WITH 50# GROUND SNOW LOAD

ROOF EXTERIOR SHEETING: 24 - #2 SPT FURLINS @ 24" O.C., COVERED WITH 26 GAUGE PAINTED STEEL ATTACHED WITH SCREWS

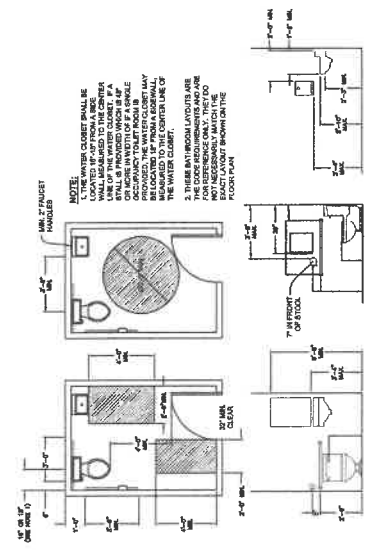
SIDE EXTERIOR SHEETING: 1/2" OSB SHEATHING, TYVEK HOUSE WRAP, COVERED WITH 26 GAUGE PAINTED STEEL - ATTACHED WITH SCREWS

TRIM: 26 GAUGE PAINTED STEEL



SECTION VIEW A-A
SCALE ~ 1/2" = 1'-0"

SECTION VIEW B-B



SECTION VIEW B-B
SCALE ~ 1/2" = 1'-0"

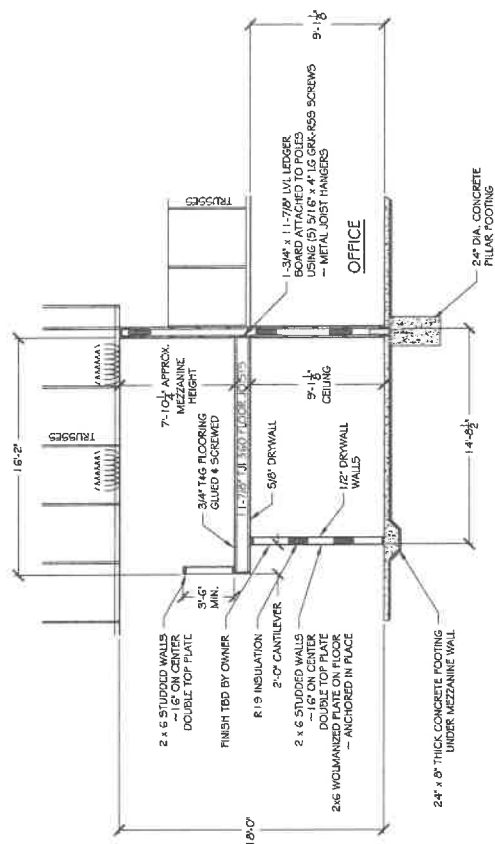
WALL CONNECTION DETAIL

ENERGY CODE REQUIREMENTS:
ALL PENETRATIONS (WINDOWS/DOORS):
U-FACTOR = .32
R-VALUE = 2.05

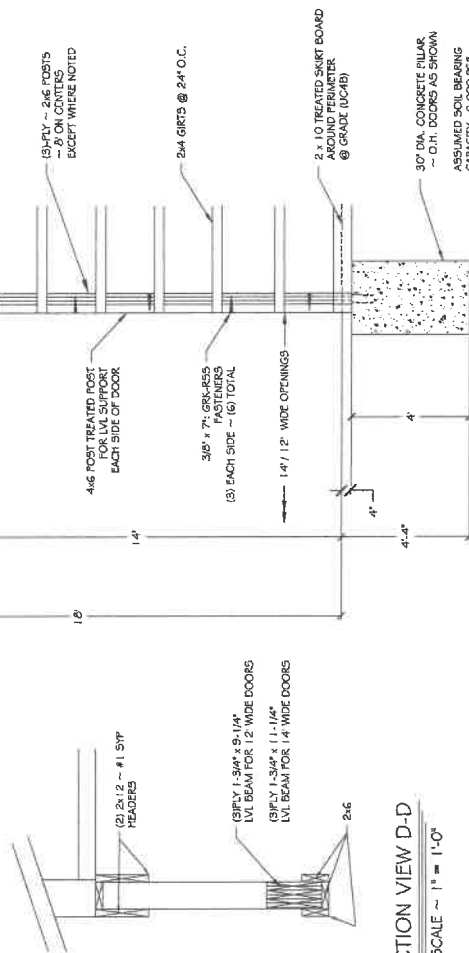
EXTERIOR WALLS (STUDPOLE CONSTRUCTION) = R21
CEILING: MINIMUM OF R49
UNDER CONCRETE FLOOR = R15 FOR 2" IN / R10 FOR 2" DOWN
FOR HEATED PORTION ONLY

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN R. BECKVOORT, PE
12230 S US 131 HWY
TALLAHASSEE, FL 32310
7616 CLIDE PARK SW, SUITE C
DIXON CENTER, MI 49315
(616) 553-1601

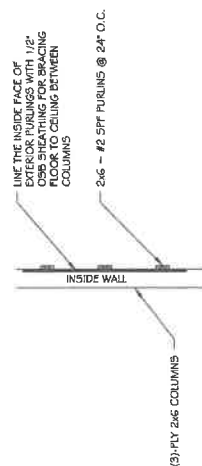
SECTION E-E



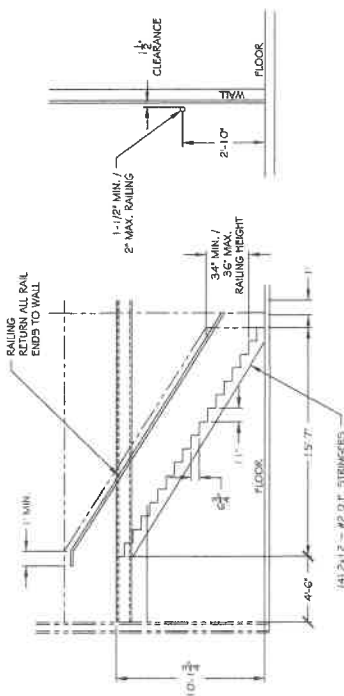
SECTION VIEW D-D



SECTION VIEW C-C



STAIR DETAIL



STAIRS ~ 6-3/4" (+/-) RISE OVER 11" RUN
117 TREADS - 10th STEP UP IS FLOOR)
FIELD VERIFY ALIGNMENT/REQUIREMENT
PRIOR TO CONSTRUCTING STAIRS

WALL BETWEEN O.H. DOORS
OSB BRACING DETAIL

KCH HOMES
TM ASPHALT SEALING
12230 S US 131 HWY
SCHOOLCRAFT MI 49087

PROFESSIONAL DESIGN OVERSIGHT
PROVIDED BY CALVIN R. BECKSVORT, PE
LATITUDE ENGINEERING, INC.
7616 CLYDE PARK SW, SUITE C
BYRON CENTER, MI 48315
(616)583-1601

SAFETY DATA SHEET

SECTION 1: PRODUCT AND COMPANY IDENTIFICATION

Product: 3405 REGULAR (LOW SULFUR) **Part Number:** 4215000
Manufacturer: W. R. Meadows®, Inc. **Address:** 300 Industrial Drive
 Hampshire, Illinois 60140
Telephone: (847) 214-2100 **In case of emergency, dial (800) 424-9300 (CHEMTREC)**
Revision Date: 9/9/2014
Product Use: Hot-Applied Joint Sealant

SECTION 2: HAZARDS IDENTIFICATION/EXPOSURE LIMITS

HMIS
Health | 1 | **HAZARD STATEMENTS**
Flammability | 1 | WARNING!
Reactivity | 0 | Causes skin irritation.
Personal Protection | | **PRECAUTIONARY STATEMENTS**
 Avoid direct contact with heated material.
 Avoid inhalation of fumes.



SECTION 3: HAZARDS COMPONENTS

Chemical Name:	CAS Number	% by Weight	SARA 313	Vapor Pressure (mm Hg@20°C)	LEL (@25°C)
1. Petroleum Asphalt	8052-42-4	50-55	No	N/A	N/A
2. Petroleum Oil Base Stock	64742-65-0	5-10	No	N/A	0.9
3. Limestone	1317-65-3	25-30	No	N/A	N/A

Under the reporting requirements of Section 313 of Title III of the Superfund Amendments and Reauthorization Act of 1966 (SARA) and 40 CFR Part 372, chemicals listed on the 313 List (40 CFR Part 373.65) are identified under the heading "SARA 313." N/A = Not Applicable

SECTION 4: EMERGENCY AND FIRST AID PROCEDURES

EYE CONTACT: Not expected to be an exposure route as supplied. If contact with molten material occurs, seek immediate medical attention.

SKIN CONTACT: Wash affected areas with soap and water if available. If contact with hot, molten material occurs cool affected area with water. Do not attempt to remove congealed solid. Do not use petroleum solvents to remove solids adhered to skin. Seek immediate medical attention.

INHALATION: Not expected to be an exposure route as supplied. If irritation occurs due to exposure to fumes produced by hot molten product, move victim from exposure source and treat symptomatically. If symptoms persist, seek medical attention.

INGESTION: Not expected to be an exposure source.

SECTION 5: FIRE AND EXPLOSIVES HAZARDS

FLASHPOINT: Not applicable; product is a solid.

EXTINGUISHING MEDIA: Water fog, foam, dry chemical.

CHEMICAL/COMBUSTION HAZARDS: Oxides and compounds of nitrogen/sulfur, carbon monoxide/dioxide, and incomplete combustion products.

PRECAUTIONS/PERSONAL PROTECTIVE EQUIPMENT: Avoid smoke inhalation. Hot material may spatter if hit by a direct stream of water. Use appropriate personal protective equipment.

SECTION 6: ACCIDENTAL RELEASE MEASURES

SPILL OR LEAK PROCEDURES: Not applicable. Product is a solid. If molten material is spilled avoid direct contact, allow material to cool and landfill dispose.

SECTION 7: HANDLING AND STORAGE

SAFE HANDLING PROCEDURES: Avoid direct contact.

SAFE STORAGE: Prevent job-site damage.

SECTION 8: EXPOSURE CONTROLS/PERSONAL PROTECTION

Chemical Name:	OSHA				ACGIH			
	PEL	PEL/CEILING	PEL/STEL	SKIN	TLV	TLV/CEILING	TLV/STEL	SKIN
1. Petroleum Asphalt	5 mg/m ³ *	N/E	N/E	No	0.5 mg/m ³ *	N/E	N/E	N/E
2. Petroleum Oil Base Stock	N/E	N/E	N/E	No	5 mg/m ³ +	N/E	N/E	N/E
3. Limestone	N/A	N/A	N/A	No	N/A	N/A	N/A	N/A

*: Asphalt Fumes

+: Mineral Oil Mist in Air

N/E: Not Established

ENGINEERING CONTROLS: None required under normal use conditions.

PERSONAL PROTECTIVE EQUIPMENT: Safety glasses, chemical resistant gloves.

SAFETY DATA SHEET

Date of Preparation: 9/9/14		Page 2 of 2	4215000
SECTION 9: PHYSICAL AND CHEMICAL PROPERTIES			
BOILING POINT: N/A	VAPOR DENSITY: N/A	% VOLATILE BY VOLUME: N/A	
EVAPORATION RATE: N/A	pH LEVEL: N/A	% VOLATILE BY WEIGHT: N/A	
WEIGHT PER GALLON: N/A	PRODUCT APPEARANCE: Black solid	VOC CONTENT: N/A	
SECTION 10: STABILITY/REACTIVITY			
STABILITY: Stable.		HAZARDOUS POLYMERIZATION: Will not occur.	
CONDITIONS AND MATERIALS TO AVOID: None recognized.			
HAZARDOUS DECOMPOSITION PRODUCTS: None recognized.			
SECTION 11: TOXICOLOGICAL INFORMATION			
EYE CONTACT: Direct contact may cause mild irritation. Contact with heated material may cause severe burns.			
SKIN CONTACT: Direct contact may cause slight skin irritation. Contact with heated material may cause severe burns.			
INHALATION: Not anticipated to be an exposure route. Heated material may emit fumes. Exposure to fumes may result in respiratory irritation.			
INGESTION: Not anticipated to be an exposure route.			
SIGNS AND SYMPTOMS: Symptoms of eye irritation include tearing, reddening, and swelling. Symptoms of skin irritation include redness and swelling. Gastrointestinal irritation symptoms include nausea, vomiting, and abdominal discomfort. Symptoms of respiratory irritation include runny nose, sore throat, coughing, chest discomfort, shortness of breath, and reduced lung function.			
AGGRAVATED MEDICAL CONDITIONS: Pre-existing skin, eye, and respiratory disorders may be aggravated by exposure to this product.			
OTHER HEALTH EFFECTS: ACGIH Classifies asphalt as <i>Not Classifiable as a Human Carcinogen; A4</i> .			
SECTION 12: ECOLOGICAL INFORMATION			
ECOTOXICITY: N/E	DEGRADABILITY: N/E	BIOACCUMULATIVE POTENTIAL: N/E	
SOIL MOBILITY: N/E	OTHER ADVERSE EFFECTS: None Recognized		
SECTION 13: WASTE DISPOSAL INFORMATION			
WASTE DISPOSAL INFORMATION: Landfill disposal.			
SECTION 14: TRANSPORTATION INFORMATION			
HAZARDOUS/NON-HAZARDOUS MATERIAL: Not regulated by DOT.			
UN NUMBER: None.	HAZARD CLASS: N/A	PACKING GROUP: N/A	
UN PROPER SHIPPING NAME: N/A			
ENVIRONMENTAL HAZARDS: None recognized.			
BULK TRANSPORTATION INFORMATION: None.			
SPECIAL PRECAUTIONS: None.			
SECTION 15: REGULATORY INFORMATION			
OTHER REGULATORY CONSIDERATIONS: None recognized.			
SECTION 16: OTHER INFORMATION			
PREPARATION DATE:	9/9/2014		
PREPARED BY:	Dave Carey		

The information contained herein is based on the data available to us and is believed to be correct. However, we make no warranty, expressed or implied regarding the accuracy of this data or the results to be obtained from the use thereof. We assume no responsibility for injury from the use of this product described herein.

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

Date of issue: 04/13/2015

Version: 1.01

SECTION 1: Identification of the substance/mixture and of the company/undertaking

1.1. Product identifier

Product form : Mixture
Trade name : Guard Cote Pavement Sealer
Product code : 16020

1.2. Relevant identified uses of the substance or mixture and uses advised against

Use of the substance/mixture : Asphalt Emulsion Pavement Sealer

1.3. Details of the supplier of the safety data sheet

The Brewer Company
1354 US Hwy 50
Milford, OH 45150
T General 800-394-0017 - F 513-576-1414
www.thebrewerco.com

1.4. Emergency telephone number

Emergency number : 800-424-9300 CHEMTREC 24 HOURS

SECTION 2: Hazards identification

2.1. Classification of the substance or mixture

GHS-US classification

Carc. 1A H350
STOT RE 1 H372

Full text of H-phrases: see section 16

2.2. Label elements

GHS-US labelling

Hazard pictograms (GHS-US) :



GHS08

Signal word (GHS-US) : Danger
Hazard statements (GHS-US) : H350 - May cause cancer
H372 - Causes damage to organs through prolonged or repeated exposure
Precautionary statements (GHS-US) : P201 - Obtain special instructions before use
P202 - Do not handle until all safety precautions have been read and understood
P260 - Do not breathe spray, vapours
P264 - Wash hands, forearms and face thoroughly after handling
P270 - Do not eat, drink or smoke when using this product
P280 - Wear eye protection, protective gloves, protective clothing
P308+P313 - If exposed or concerned: Get medical advice/attention
P314 - Get medical advice/attention if you feel unwell
P405 - Store locked up
P501 - Dispose of contents/container to in accordance with local, regional, and national regulations.

2.3. Other hazards

No additional information available

2.4. Unknown acute toxicity (GHS-US)

Not applicable

SECTION 3: Composition/information on ingredients

3.1. Substance

Not applicable

3.2. Mixture

Guard Cote Pavement Sealer

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Name	Product identifier	%	GHS-US classification
asphaltic bitumen, not cut back	(CAS No) 8052-42-4	28 - 30	Carc. 2, H351
silica	(CAS No) 14808-60-7	1.8 - 6.6	Carc. 1A, H350 STOT RE 1, H372
carbon black	(CAS No) 1333-86-4	0.835 - 1.002	Carc. 2, H351
titanium(IV) oxide	(CAS No) 13463-67-7	< 0.572	Carc. 2, H351

Full text of H-phrases: see section 16

SECTION 4: First aid measures

4.1. Description of first aid measures

- First-aid measures general : Never give anything by mouth to an unconscious person. If you feel unwell, seek medical advice (show the label where possible).
- First-aid measures after inhalation : Not expected to be an inhalation hazard. Allow the victim to rest. Allow victim to breathe fresh air.
- First-aid measures after skin contact : Remove affected clothing and wash all exposed skin area with mild soap and water, followed by warm water rinse.
- First-aid measures after eye contact : Rinse immediately with plenty of water. Obtain medical attention if pain, blinking or redness persist.
- First-aid measures after ingestion : Rinse mouth. Do NOT induce vomiting. Obtain emergency medical attention.

4.2. Most important symptoms and effects, both acute and delayed

No additional information available

4.3. Indication of any immediate medical attention and special treatment needed

No additional information available

SECTION 5: Firefighting measures

5.1. Extinguishing media

- Suitable extinguishing media : Foam. Dry powder. Carbon dioxide. Water spray. Sand.
- Unsuitable extinguishing media : Do not use a heavy water stream.

5.2. Special hazards arising from the substance or mixture

- Fire hazard : Water Based Product with no Flash Point. Material will not burn in liquid state. Cured product will burn.
- Explosion hazard : Product is not explosive.
- Reactivity : Product is stable.

5.3. Advice for firefighters

- Firefighting instructions : Use water spray or fog for cooling exposed containers. Exercise caution when fighting any chemical fire. Prevent fire-fighting water from entering environment.
- Protection during firefighting : Do not enter fire area without proper protective equipment, including respiratory protection.

SECTION 6: Accidental release measures

6.1. Personal precautions, protective equipment and emergency procedures

6.1.1. For non-emergency personnel

- Emergency procedures : Evacuate unnecessary personnel.

6.1.2. For emergency responders

- Protective equipment : Equip cleanup crew with proper protection.
- Emergency procedures : Ventilate area.

6.2. Environmental precautions

Prevent entry to sewers and public waters. Notify authorities if liquid enters sewers or public waters. Avoid release to the environment.

6.3. Methods and material for containment and cleaning up

- Methods for cleaning up : Soak up spills with inert solids, such as clay or diatomaceous earth as soon as possible. Collect spillage. Store away from other materials.

6.4. Reference to other sections

See Heading 8. Exposure controls and personal protection.

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

SECTION 7: Handling and storage

7.1. Precautions for safe handling

- Precautions for safe handling : Wash hands and other exposed areas with mild soap and water before eating, drinking or smoking and when leaving work. Provide good ventilation in process area to prevent formation of vapour. Obtain special instructions before use. Do not handle until all safety precautions have been read and understood. Do not breathe spray, vapours.
- Hygiene measures : Do not eat, drink or smoke when using this product. Wash hands and other exposed areas with mild soap and water before eating, drinking or smoking and when leaving work.

7.2. Conditions for safe storage, including any incompatibilities

- Technical measures : DO NOT SUBJECT TO FREEZING TEMPERATURES. Freezing will destroy the product rendering not useable.
- Storage conditions : Store in a dry place. Store in a closed container. Keep only in the original container in a cool, well ventilated place away from : Heat sources, Corrosion Sources. Keep container closed when not in use.
- Incompatible products : Oxidizing agent. Strong bases. Strong acids.
- Incompatible materials : Avoid contact with strong oxidizers. Heat sources.

7.3. Specific end use(s)

No additional information available

SECTION 8: Exposure controls/personal protection

8.1. Control parameters

Guard Cote Pavement Sealer		
ACGIH	Not applicable	
OSHA	Not applicable	
carbon black (1333-86-4)		
ACGIH	ACGIH TWA (mg/m³)	3 mg/m³
ACGIH	Remark (ACGIH)	Bronchitis
OSHA	OSHA PEL (TWA) (mg/m³)	3.5 mg/m³
silica (14808-60-7)		
ACGIH	ACGIH TWA (mg/m³)	0.025 mg/m³
OSHA	Remark (OSHA)	(3) See Table Z-3.
titanium(IV) oxide (13463-67-7)		
ACGIH	ACGIH TWA (mg/m³)	1 mg/m³
ACGIH	Remark (ACGIH)	LRT irr; A3
OSHA	OSHA PEL (TWA) (mg/m³)	15 mg/m³
asphaltic bitumen, not cut back (8052-42-4)		
ACGIH	Not applicable	
OSHA	Not applicable	

8.2. Exposure controls

Personal protective equipment : Gloves. Safety glasses. Protective clothing. Avoid all unnecessary exposure.



- Hand protection : Wear protective gloves.
- Eye protection : Chemical goggles or safety glasses.
- Respiratory protection : Respiratory protection not required in normal conditions. Wear appropriate mask.
- Other information : Do not eat, drink or smoke during use.

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

SECTION 9: Physical and chemical properties

9.1. Information on basic physical and chemical properties

Physical state	: Liquid
Appearance	: A dark brown to black liquid consistency asphalt emulsion pavement sealer.
Colour	: brown;Black
Odour	: Very mild hydrocarbon odor.
Odour threshold	: No data available
pH	: 6 - 8
Relative evaporation rate (butylacetate=1)	: No data available
Melting point	: No data available
Freezing point	: No data available
Boiling point	: ≈ 212 °F
Flash point	: No data available
Auto-ignition temperature	: No data available
Decomposition temperature	: No data available
Flammability (solid, gas)	: No data available
Vapour pressure	: No data available
Relative vapour density at 20 °C	: No data available
Relative density	: No data available
Density	: > 1.15 g/cm ³
Percent Solids	: ≈ 50 %
Solubility	: Soluble in water. Water: Solubility in water of component(s) of the mixture : • carbon black: < 0.01 g/100ml • lithium hydroxide, monohydrate: 22.3 g/100ml • tertiary-octylphenoxypoly(ethoxyethanol): Complete • silica: insoluble • titanium(IV) oxide: 0.15 g/100ml • 2, 2, 4-trimethyl-1, 3-pentanediol monoisobutyrate: 0.090 g/100ml • 2-(2-aminoethylamino)ethanol: Complete
Log Pow	: No data available
Log Kow	: No data available
Viscosity, kinematic	: No data available
Viscosity, dynamic	: No data available
Explosive properties	: No data available
Oxidising properties	: No data available
Explosive limits	: No data available

9.2. Other Information

No additional information available

SECTION 10: Stability and reactivity

10.1. Reactivity

Product is stable.

10.2. Chemical stability

Stable under normal conditions.

10.3. Possibility of hazardous reactions

No dangerous reactions known under conditions of normal use.

10.4. Conditions to avoid

Extremely high or low temperatures.

10.5. Incompatible materials

Avoid strong oxidizers.

10.6. Hazardous decomposition products

hydrogen sulfide, sulfides. fume. Carbon monoxide. Carbon dioxide.

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

SECTION 11: Toxicological information

11.1. Information on toxicological effects

Acute toxicity : Not classified

carbon black (1333-86-4)	
LD50 oral rat	> 8000 mg/kg (Rat; OECD 401: Acute Oral Toxicity; Experimental value)
LD50 dermal rabbit	> 3000 mg/kg (Rabbit)

titanium(IV) oxide (13463-67-7)	
LD50 oral rat	> 10000 mg/kg (Rat; OECD 425: Acute Oral Toxicity: Up-and-Down Procedure; Experimental value; > 5000 mg/kg bodyweight; Rat; Experimental value)
LD50 dermal rabbit	> 10000 mg/kg (Rabbit; Experimental value)
LC50 inhalation rat (mg/l)	> 6.8 mg/l/4h (Rat; Experimental value)

Skin corrosion/irritation : Not classified
pH: 6 - 8

Serious eye damage/irritation : Not classified
pH: 6 - 8

Respiratory or skin sensitisation : Not classified

Germ cell mutagenicity : Not classified

Carcinogenicity : May cause cancer.

carbon black (1333-86-4)	
IARC group	2B - Possibly carcinogenic to humans

silica (14808-60-7)	
IARC group	1 - Carcinogenic to humans

titanium(IV) oxide (13463-67-7)	
IARC group	2B - Possibly carcinogenic to humans

asphaltic bitumen, not cut back (8052-42-4)	
IARC group	2A - Probably carcinogenic to humans, 2B - Possibly carcinogenic to humans

Reproductive toxicity : Not classified

Specific target organ toxicity (single exposure) : Not classified

Specific target organ toxicity (repeated exposure) : Causes damage to organs through prolonged or repeated exposure.

Aspiration hazard : Not classified

Potential adverse human health effects and symptoms : Based on available data, the classification criteria are not met.

SECTION 12: Ecological information

12.1. Toxicity

Ecology - general : This product may cause adverse environmental effects if used improperly or release to the environment through a spill. Employ best management practices to prevent this material from entering storm sewer systems, waterways or otherwise impacting plant and animal species.

Ecology - water : Very toxic to aquatic life.

12.2. Persistence and degradability

Guard Cote Pavement Sealer	
Persistence and degradability	Not established.

12.3. Bioaccumulative potential

Guard Cote Pavement Sealer	
Bioaccumulative potential	Not established.

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

12.4. Mobility in soil

No additional information available

12.5. Other adverse effects

Effect on ozone layer :

Effect on the global warming : No known ecological damage caused by this product.

Other information : Avoid release to the environment.

SECTION 13: Disposal considerations

13.1. Waste treatment methods

Waste disposal recommendations : Dispose of contents/container in accordance with all local, state, and national regulations.
Dispose in a safe manner in accordance with local/national regulations.

Ecology - waste materials : Avoid release to the environment.

SECTION 14: Transport information

In accordance with DOT

Not regulated for transport

Additional information

Other information : Not classified as a hazardous material under HM-181.

ADR

No additional information available

Transport by sea

No additional information available

Air transport

No additional information available

SECTION 15: Regulatory information

15.1. US Federal regulations

Guard Cote Pavement Sealer

Not listed on the United States TSCA (Toxic Substances Control Act) inventory

All components of this product are listed, or excluded from listing, on the United States Environmental Protection Agency Toxic Substances Control Act (TSCA) inventory except for:

lithium hydroxide, monohydrate	CAS No 1310-66-3	0.0069%
silica	CAS No 14808-60-7	C>1.80% ; C<6.60%

This product or mixture does not contain a toxic chemical or chemicals in excess of the applicable de minimis concentration as specified in 40 CFR §372.38(a) subject to the reporting requirements of section 313 of Title III of the Superfund Amendments and Reauthorization Act of 1986 and 40 CFR Part 372.

15.2. International regulations

CANADA

No additional information available

EU-Regulations

No additional information available

Classification according to Regulation (EC) No. 1272/2008 [CLP]

Classification according to Directive 67/548/EEC [DSD] or 1999/45/EC [DPD]

Not classified

15.2.2. National regulations

Guard Cote Pavement Sealer

Safety Data Sheet

according to Federal Register / Vol. 77, No. 58 / Monday, March 26, 2012 / Rules and Regulations

carbon black (1333-86-4)

Listed on IARC (International Agency for Research on Cancer)

titanium(IV) oxide (13463-67-7)

Listed on IARC (International Agency for Research on Cancer)

15.3. US State regulations

California Proposition 65 - This product contains, or may contain, trace quantities of a substance(s) known to the state of California to cause cancer and/or reproductive toxicity

carbon black (1333-86-4)

U.S. - California - Proposition 65 - Carcinogens List	U.S. - California - Proposition 65 - Developmental Toxicity	U.S. - California - Proposition 65 - Reproductive Toxicity - Female	U.S. - California - Proposition 65 - Reproductive Toxicity - Male	No significance risk level (NSRL)
Yes	No	No	No	

carbon black (1333-86-4)

U.S. - New Jersey - Right to Know Hazardous Substance List

titanium(IV) oxide (13463-67-7)

U.S. - New Jersey - Right to Know Hazardous Substance List

asphaltic bitumen, not cut back (8052-42-4)

U.S. - New Jersey - Right to Know Hazardous Substance List

SECTION 16: Other information

Other information : None.

Full text of H-phrases:

Carc. 1A	Carcinogenicity, Category 1A
Carc. 2	Carcinogenicity, Category 2
STOT RE 1	Specific target organ toxicity — Repeated exposure, Category 1
H350	May cause cancer
H351	Suspected of causing cancer
H372	Causes damage to organs through prolonged or repeated exposure

NFPA health hazard

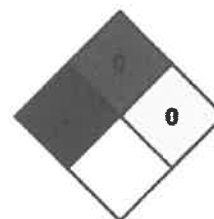
: 1 - Exposure could cause irritation but only minor residual injury even if no treatment is given.

NFPA fire hazard

: 0 - Materials that will not burn.

NFPA reactivity

: 0 - Normally stable, even under fire exposure conditions, and are not reactive with water.



HMIS III Rating

Health : 1 Slight Hazard - Irritation or minor reversible injury possible

Flammability : 0 Minimal Hazard

Physical : 0 Minimal Hazard

Personal Protection : C

TBC SDS US (GHS Hazcom 2012)

The information and recommendations contained herein are to the best of THE BREWER COMPANY'S knowledge and belief, accurate and reliable as of the date issued. THE BREWER COMPANY does not warrant or guarantee their accuracy or reliability, and THE BREWER COMPANY shall not be liable for any loss or damage arising out of the use thereof.

The information and recommendations are offered for the users consideration and examination, and it is the user's responsibility to satisfy itself that they are suitable and complete for its particular use. It is also the users responsibility to make certain that it is relying upon the most recent, updated, information and recommendations available from THE BREWER COMPANY.

The Environmental Information included, as well as the Hazardous Material Identification System (HMIS) and National Fire Protection Association (NFPA) ratings, have been included by THE BREWER COMPANY in order to provide additional health and hazard classification information. The ratings recommended are based upon the criteria supplied by the developers of these rating systems, together with THE BREWER COMPANY'S interpretation of the available data.